

HISTORIC COMMISSION REVIEW

25 JACKSON STREET

CAMBRIDGE, MA 02140

ANDERSON
PORTER
DESIGN



LIST OF SYMBOLS

	EXISTING PARTITION OR PARTITION W/ DOOR TO BE REMOVED; REFER TO AD1 DRAWINGS.
	EXISTING STRUCTURE OR PARTITION TO REMAIN.
	NEW STRUCTURE OR PARTITION.
	FINISH ELEVATION.
	ROOM TAG
	GENERAL DETAIL.
	WALL SECTION
	INTERIOR ELEVATION
	FINISH TAG
	DOOR IDENTIFICATION SYMBOL
	WALL TYPE TAG
	WINDOW IDENTIFICATION SYMBOL
	FLOOR FINISH SYMBOL
	DUPLEX OUTLET
	GROUND FAULT OUTLET
	CAT 5/COAX/DATA
	CARBON MONOXIDE DETECTOR
	SMOKE ALARM
	LIGHT FIXTURE (PENDANT/SURFACE MOUNTED)
	LIGHT FIXTURE (SCONCE)
	LIGHT FIXTURE (RECESSED)
	EXHAUST FAN

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
CI	CONTROL JOINT
CLG	CEILING
CLR	CLEAR
CO	CLEAN CUT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
DN	DOWN
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
EQ	EQUAL
EXST	EXISTING
FC	FURRING CHANNEL
FD	FLOOR DRAIN
FIN	FINISH
FL	FLOOR
GL	GLASS
GWB	GYPSUM WALLBOARD
HT	HEIGHT
HDWD	HARDWOOD
HVAC	HEATING, VENTILATION AND AIR CONDITIONING
INSUL	INSULATION
MAX	MAXIMUM
MFR	MANUFACTURER
MIN	MINIMUM
MO	MASONRY OPENING
MTL	METAL
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
PLAM	PLASTIC LAMINATE
PLYWD	PLYWOOD
PTD	PAINTED
REQD	REQUIRED
RL	RAIL LEADER
STL	STEEL
STR	STRUCTURE/STRUCTURAL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITION TILE
WD	WOOD
W/	WITH
WINDW	WINDOW

SITE LOCATION



CONTACT

ARCHITECT
Anderson Porter Design
875 Main Street, #2
Cambridge, MA 02139

Dan Anderson
617-354-2501

OWNER
DND Homes, LLC
271 Lincoln Street, Suite 10
Lexington, MA 02421

Ozan Dalmecioglu
781-460-8437

DRAWING LIST

G0.1	COVER SHEET
C-1	EXISTING CIVIL PLAN
A1.0	PROPOSED SITE PLAN
AX1.1	EXISTING FLOOR PLANS
AX2.1	EXISTING ELEVATIONS
A1.1	PROPOSED FLOOR PLANS
A2.1	PROPOSED ELEVATIONS
A2.2	PROPOSED ELEVATIONS

BUILDING CODE REVIEW

PROJECT DESCRIPTION: DEMOLITION OF EXISTING TWO-FAMILY - CONSTRUCTION OF TWO SINGLE FAMILY STRUCTURES

CH-3 Use & Occupancy: R-2
CH-4 Special Detailed Requirements based on Use & Occupancy
403.2 Separation Walls. Walls separating dwelling units in the same building, walls separating sleeping units in the same building and walls separating dwelling or sleeping units from other occupancies contiguous to them in the same building shall be constructed as fire partitions in accordance with section 709 - 1 Hour.
403.3 Horizontal Separations. Floor assemblies separating dwelling units in the same building, floor assemblies separating sleeping units in the same building and floor assemblies separating dwelling or sleeping units from other occupancies contiguous to them in the same building shall be constructed as horizontal assemblies in accordance with section 712 - 1 Hour.
CH-5 General Building Height & Areas: Table 503 - Allowable Building Height & Areas:
Construction Type V-A:
Use: R-2
Height/Area: 3-14/12,000
504.2 Automatic Sprinkler System Increase. An approved automatic sprinkler system in accordance w/ 903.1.1.1. ... and the maximum number of stories in increased by 1.
CH-6 Type of Construction
Table 601 - FIRE RESISTANT RATING REQUIREMENTS FOR BUILDING ELEMENTS - CONSTRUCTION TYPE V-A (904US):
PRIMARY STRUCTURAL FRAME: 1
BEARING WALLS: INTERIOR 1, EXTERIOR 1
NON BEARING WALLS & PARTITIONS EXTERIOR: 1
INTERIOR: 0
FLOOR CONSTRUCTION: 1
ROOF CONSTRUCTION & SECONDARY MEMBERS: 1
CH-9 Fire Protection System
903 Automatic sprinkler system - Not Required
CH-10 Means of Egress
1004.1 Design Occupant Load
Table 1004.1.1
R-2: 3 units x 2 beds x 2 bedrooms = 12
1005 Minimum Egress Width. Egress Width = 36"
Table 1006.3.2(1): For stories with one exit or access to one exit for R-2 occupancies maximum common path of egress travel distance = 125'. Actual = 97'
1007.2 Elevator not required. - (see 521 below)

SECTION 1009 STAIRWAYS
1009.1 Stairway width. EXCEPTIONS: 1. Stairways serving an occupant load of less 50 shall have a width of not less than 36".
1009.4.2 Easer height and tread depth. Exception:
5. In Group R-3 occupancies, within dwelling units in Group R-2 occupancies; and in Group U occupancies that area accessory to a Group R-3 occupancy or accessory to individual dwelling units in Group R-2 occupancies; the maximum riser height shall be 7 7/8 inches (197mm); the minimum tread depth shall be 10 inches (254 mm); the minimum nosing tread depth at the nosing shall be 10 inches (254mm) and the minimum nosing tread depth shall be 11 inches (279mm). A nosing not less than 3/8 inch (9.5 mm) but not more than 1 1/4 inches (31mm) shall be provided on stairways with solid risers where the tread depth is less than 11 inches (279mm).
1009.5 Stairway Landing. ... Doors Opening onto a landing shall not reduce the landing to less than one-half the required width. When fully open the door shall not project more than 7 inches into a landing.
SECTION 1012 HANDRAILS
1012.2 Height. Measured above stair tread nosings shall be uniform, not less than 34 inches and not more than 38 inches
SECTION 1013 GUARDRAILS
1013.2 Height. Required guards shall not be less than 42 inches high measured vertically above the adjacent walking surfaces, ... or the line connecting the leading edge of the treads.
SECTION 1015 EXIT & EXIT ACCESS DOORWAYS
Exception: In Group R-2 and R-3 occupancies, one means of egress is permitted within and from individual dwelling units with a maximum occupant load of 20 where the dwelling unit is equipped throughout with an automatic sprinkler system in accordance with section 903.3.1.1 or 903.1.2
CH-11 ACCESSIBILITY - ARCHITECTURAL ACCESS BOARD. - Project will comply with 521 OMR as required.

REVISIONS		
No.	Description	Date

AndersonPorterDesign
875 Main Street Cambridge, MA 02139
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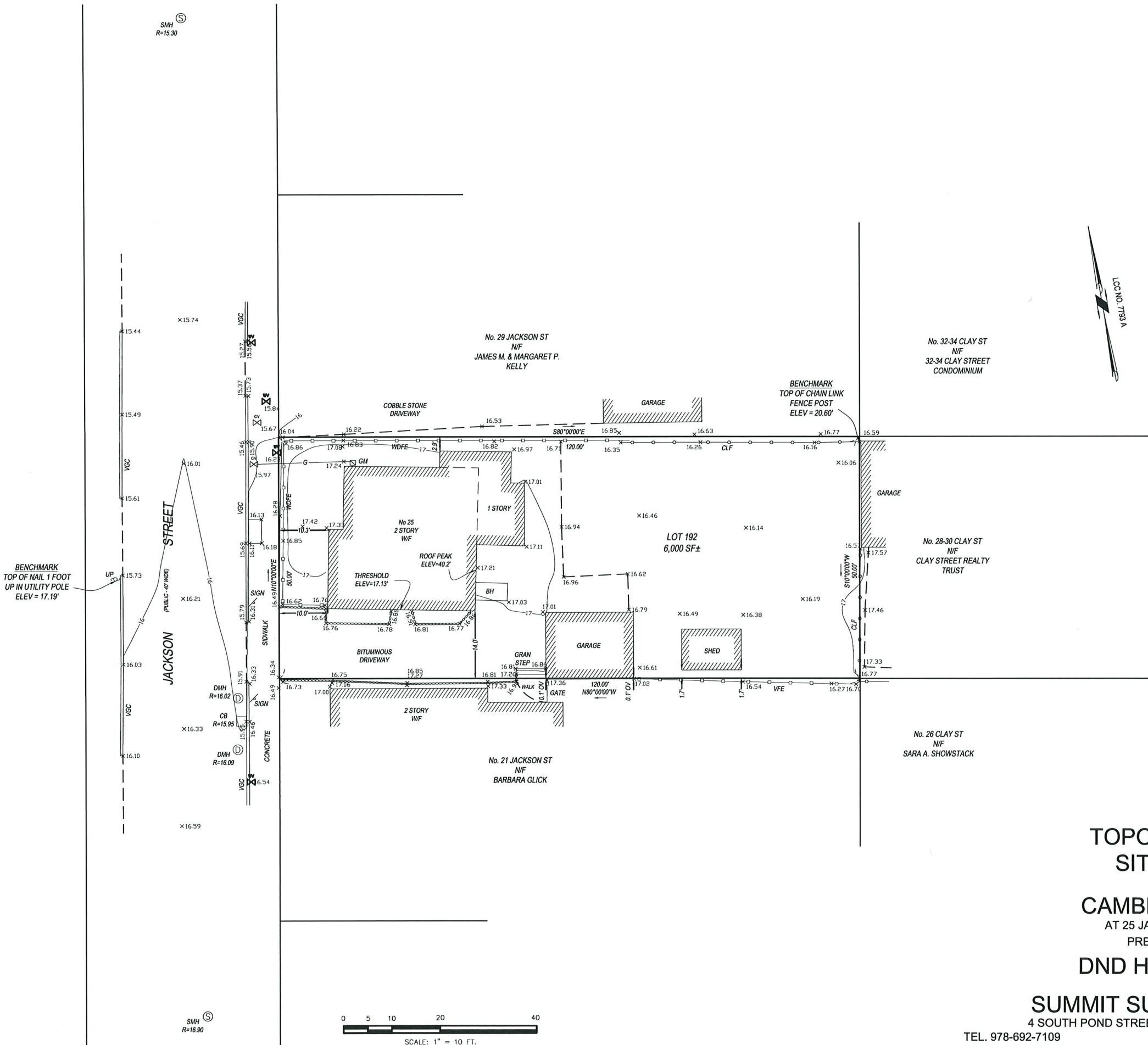
Project: 25 JACKSON STREET
Address: 25 JACKSON STREET
CAMBRIDGE, MA
02140

Title: COVER SHEET
Drawing Based By: ANDERSON PORTER DESIGN
Pkg. No.: - Drawing No.:
Date: 00/00/0000
Scale: AS NOTED
Drawn By: DB/DS

G0.1

LEGEND:

BH	BULKHEAD
BIT	BITUMINOUS
CB	CATCH BASIN
CONC	CONCRETE
CLF	CHAIN LINK FENCE
DEC	DECIDUOUS
DMH	DRAIN MANHOLE
FD	FOUND
GM	GAS METER
GV	GAS VALVE
OV	OVER
FOR	PORCH
SMH	SEWER MANHOLE
UP	UTILITY POLE
VFE	VINYL FENCE
VGC	VERTICAL GRANITE CURB
WDFE	WOOD FENCE
WIF	WOOD FRAME
WV	WATER VALVE



RECORD OWNERS:

LORRAINE E. HIRTLE, THOMAS F. HIRTLE,
ELIZABETH T. WHITNEY, BRENDA J. HIRTLE, DIANE
M. WILSON AND NANCY ANN MORSE

REFERENCES:

DEED BOOK 20065 PAGE 602
PLAN BOOK 6 PLAN 37

NOTES:

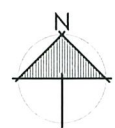
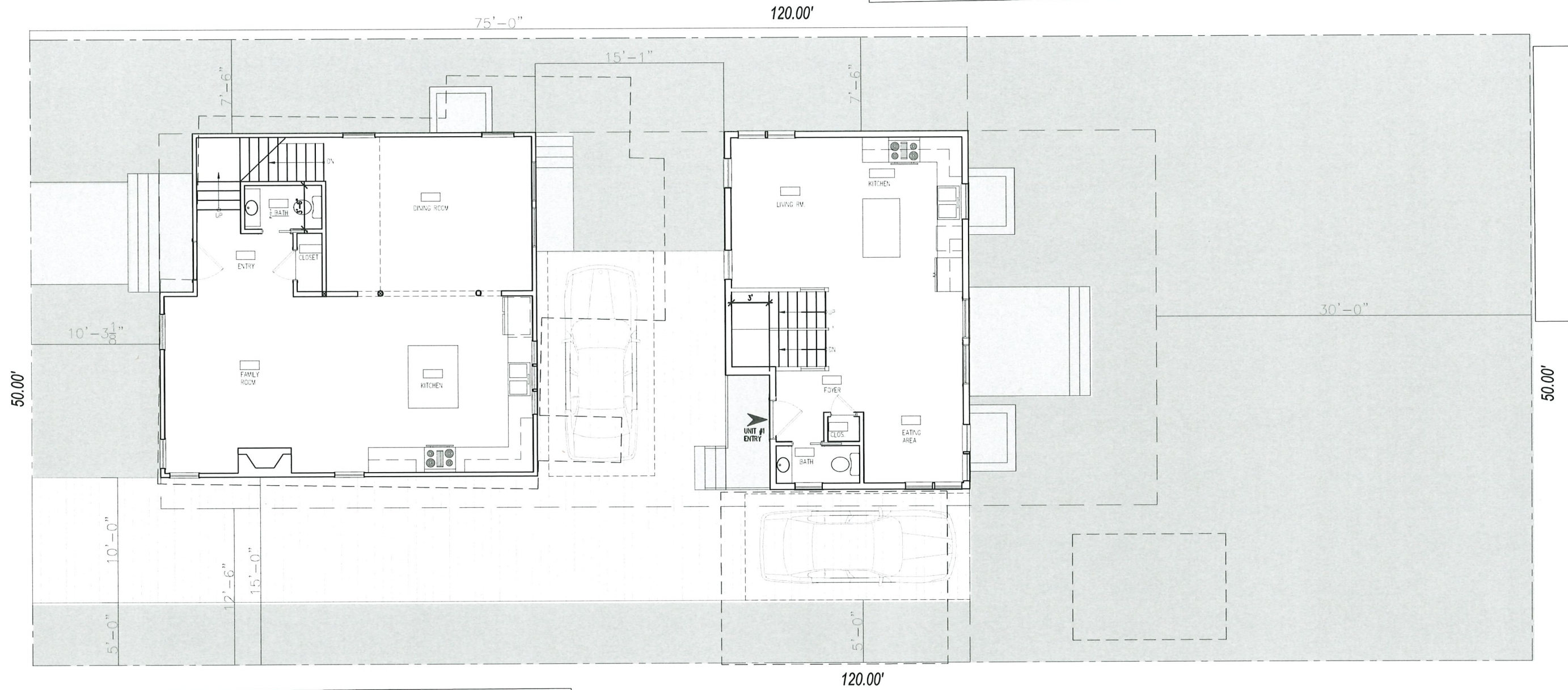
- 1.) THIS PLAN WAS PREPARED FROM AN INSTRUMENT SURVEY PERFORMED IN MAY 6, 2020.
- 2.) THE LOCATION OF SUBSURFACE UTILITIES WERE NOT INCLUDED AS PART OF THIS SURVEY. UTILITY STRUCTURES SHOWN HEREON ARE FROM THE LOCATION OF VISIBLE SURFACE EVIDENCE. THE LOCATION OF SUBSURFACE UTILITIES ARE NOT WARRANTED TO BE CORRECT, NOR DOES THE SURVEYOR GUARANTEE THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL VERIFY ALL UTILITIES AND CONTACT "DIG SAFE" (1-800-DIG-SAFE) PRIOR TO THE COMMENCEMENT OF WORK.
- 3.) A TITLE EXAMINATION WAS NOT PROVIDED FOR THIS SURVEY. AS SUCH OTHER MATTERS OF RECORD MAY EXIST AND NOT BE SHOWN HEREON.
- 4.) VERTICAL DATUM IS NAVD 88.

**TOPOGRAPHIC
SITE PLAN
IN
CAMBRIDGE, MA
AT 25 JACKSON STREET
PREPARED FOR
DND HOMES LLC**

BY
SUMMIT SURVEYING INC.
4 SOUTH POND STREET, NEWBURYPORT, MA 01950

TEL. 978-692-7109
MAY 15, 2020

WWW.SUMMITSURVEYINGINC.COM
20-0122



1 SITE PLAN
A1.0 Scale 1/4" = 1'-0"

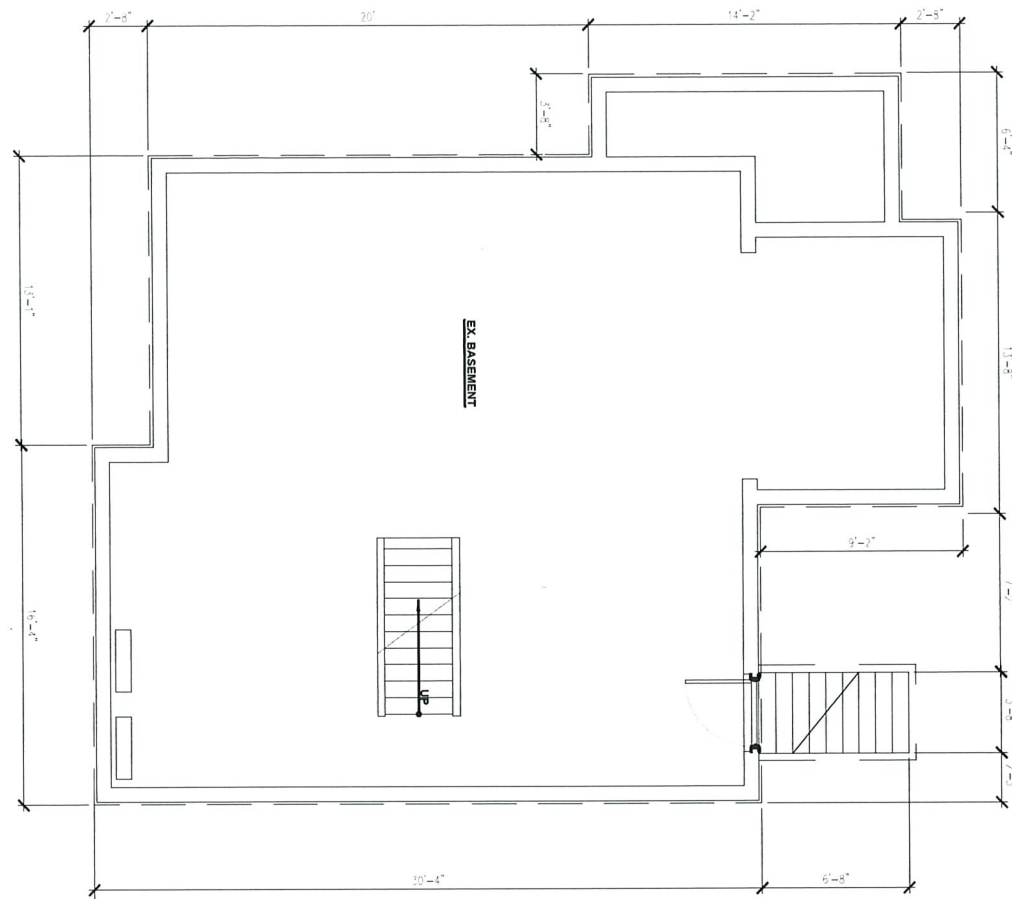
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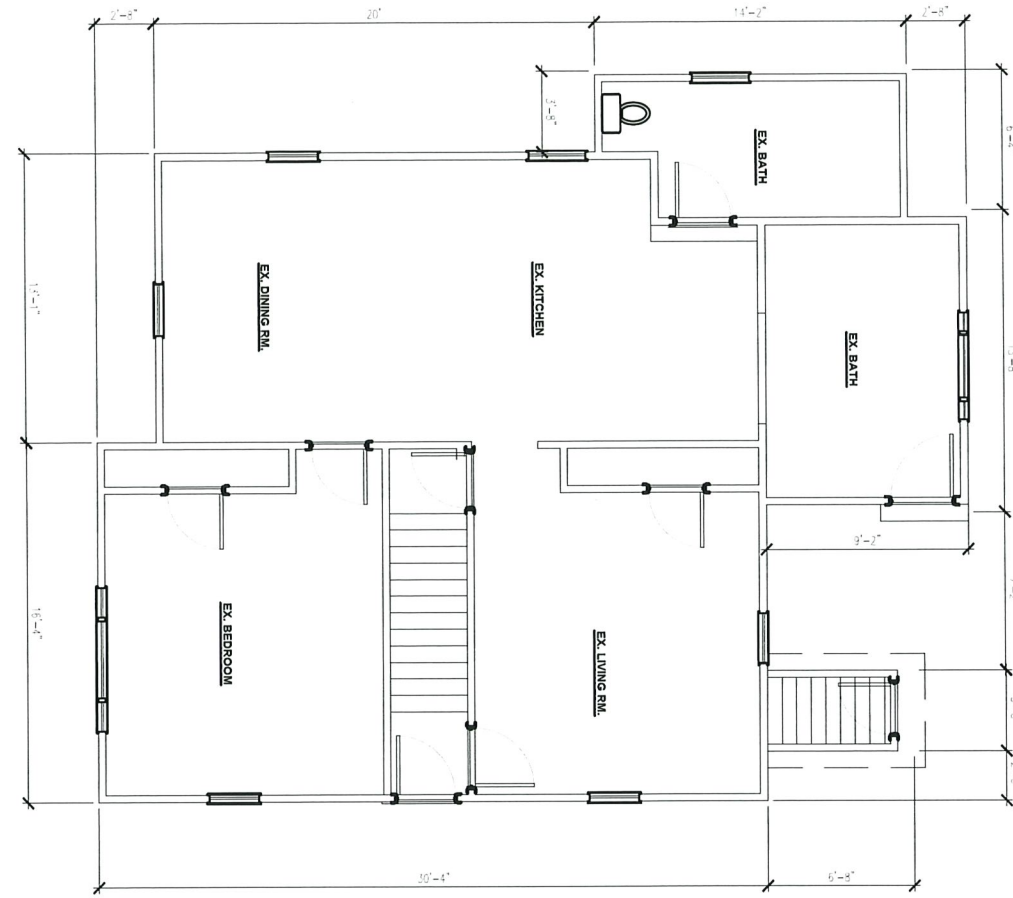
Project: 25 JACKSON STREET
Address: 25 JACKSON STREET
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Title: PROPOSED SITE PLAN

Drawing Issued By: ANDERSON PORTER DESIGN

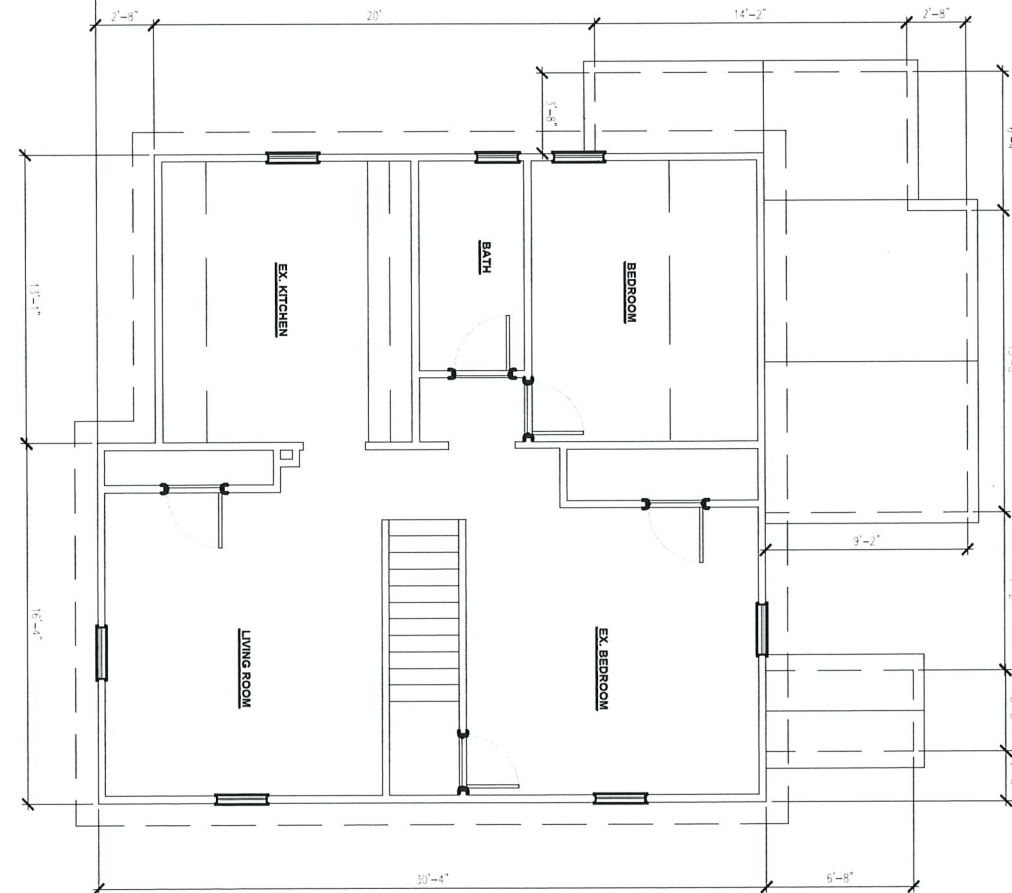
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Scale	1/4" = 1'-0"		
Drawn By	DA/KA		



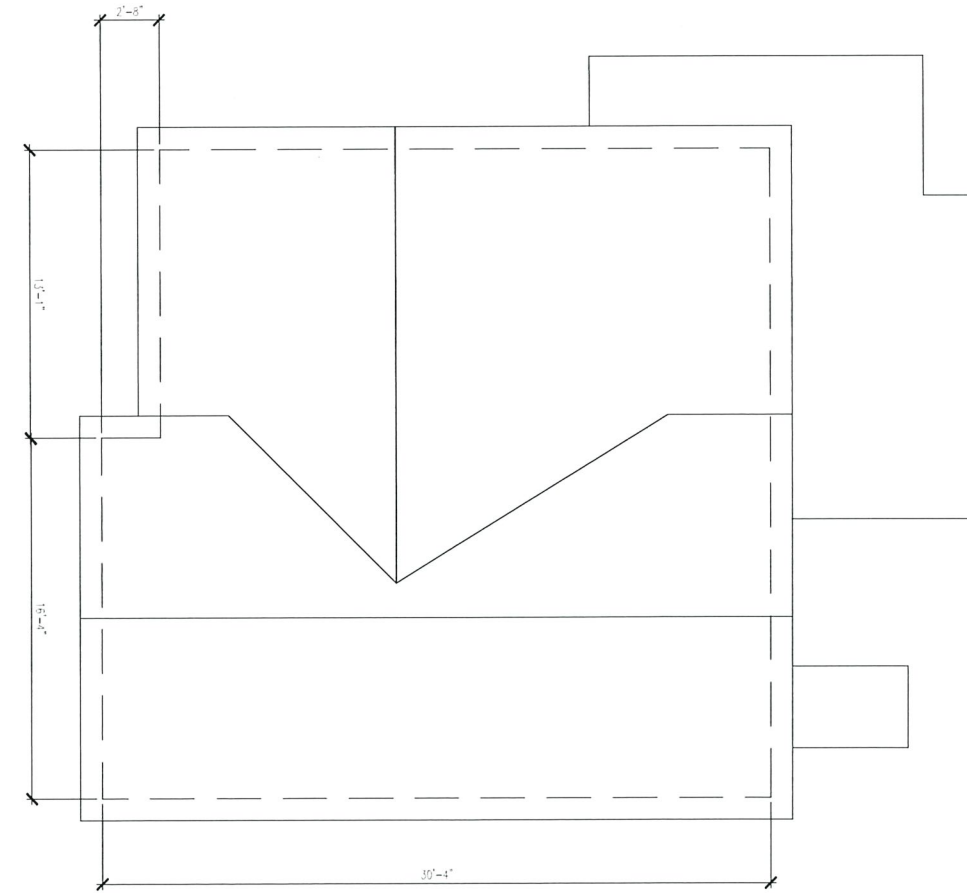
1 PLAN: BASEMENT
AX1.1 Scale 1/4" = 1'-0"



2 PLAN: FIRST FLOOR
AX1.1 Scale 1/4" = 1'-0"



3 PLAN: SECOND FLOOR
A2.1 Scale 1/4" = 1'-0"



4 PLAN: ROOF
A2.1 Scale 1/4" = 1'-0"

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Title EXISTING PLANS

Drawn/checked By ANDERSON PORTER DESIGN
Proj # -
Date 00/00/0000
Scale 1/4" = 1'-0"
Drawn By DAVIA

AX1.1



1 FRONT ELEVATION
A2.1 Scale 1/4" = 1'-0"



2 SIDE ELEVATION
A2.1 Scale 1/4" = 1'-0"



3 REAR ELEVATION
A2.1 Scale 1/4" = 1'-0"



4 SIDE ELEVATION
A2.1 Scale 1/4" = 1'-0"

REVISIONS		
No.	Description	Date

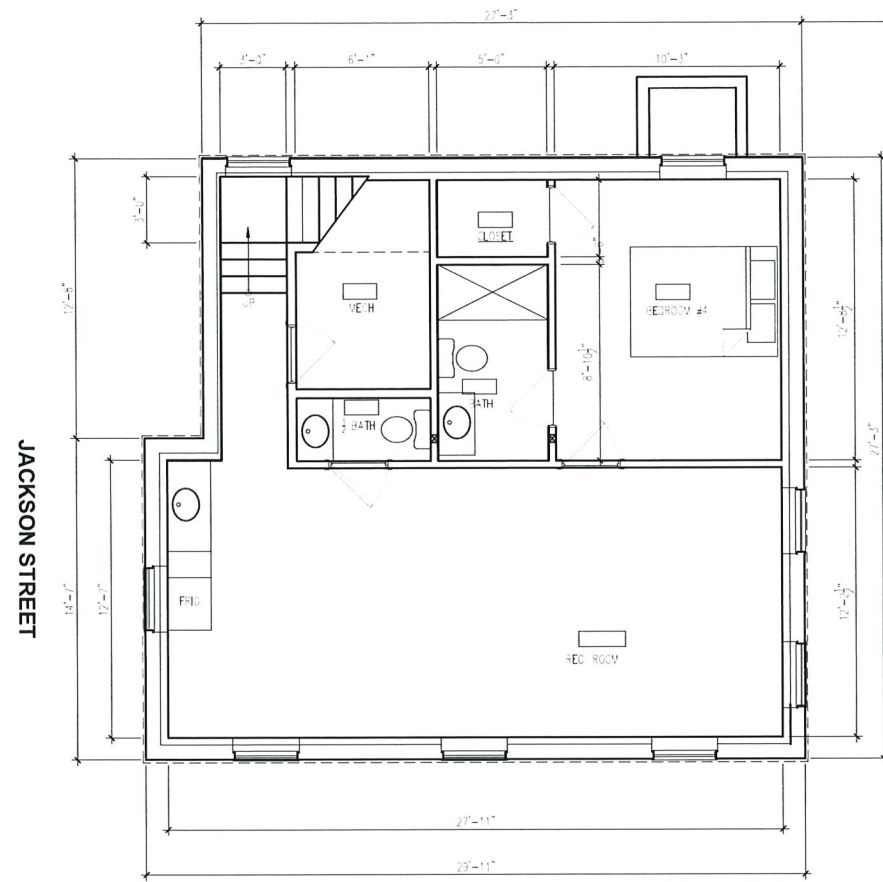
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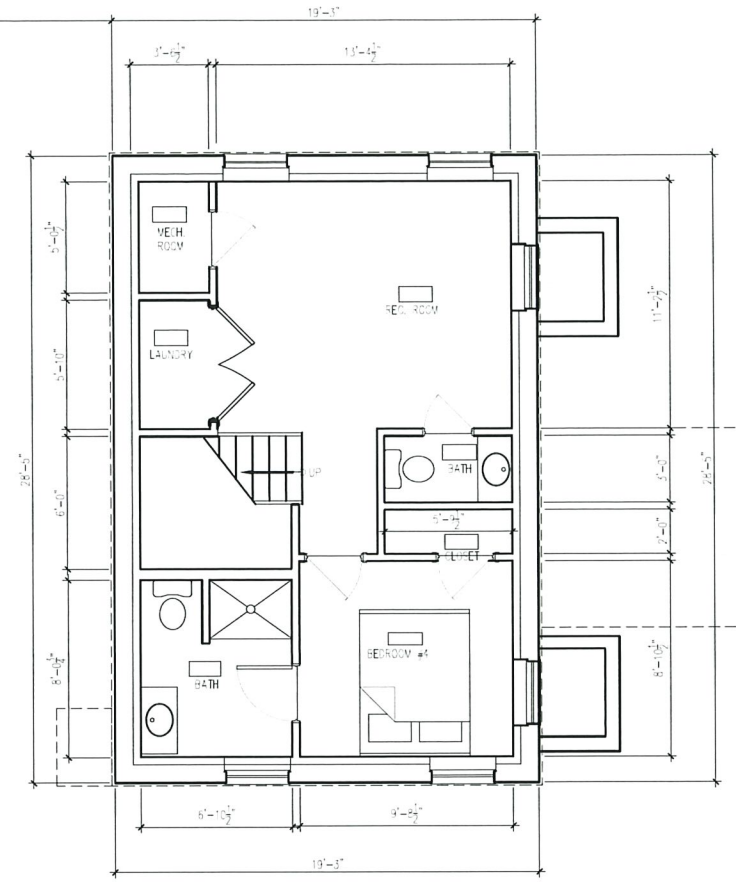
Title EXISTING ELEVATIONS

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Date 00/00/0000
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Drawn By DA/KA

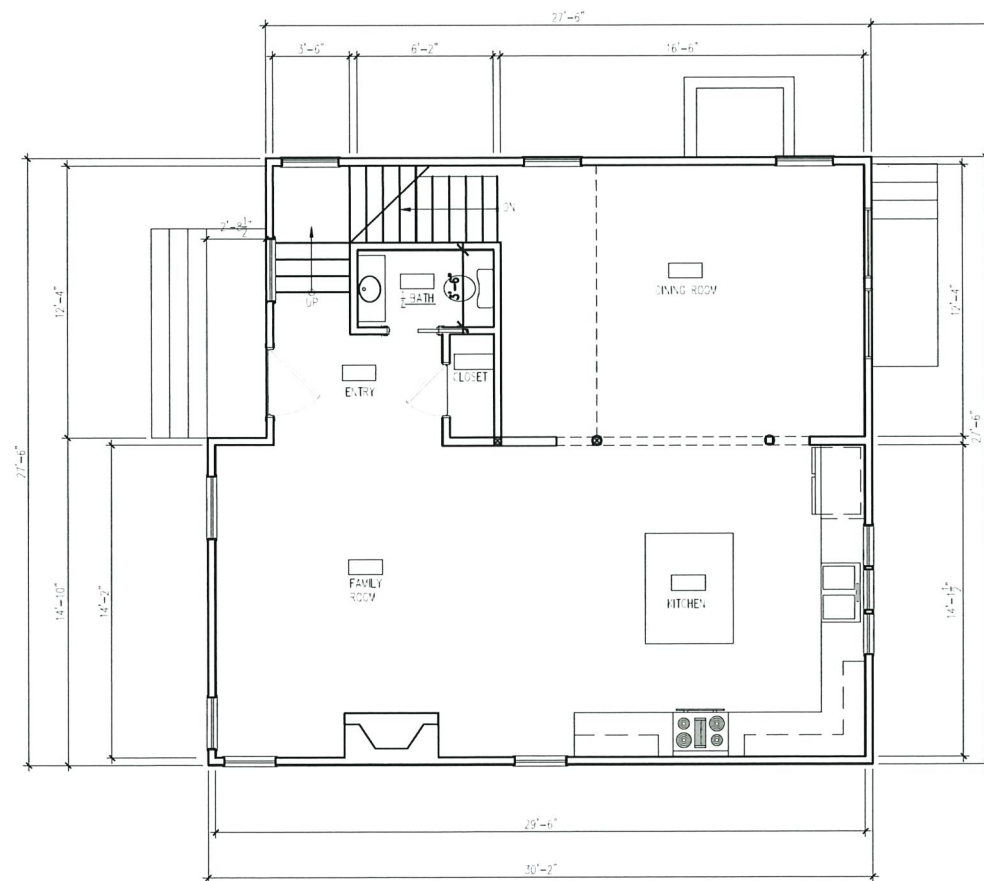
AX2.1



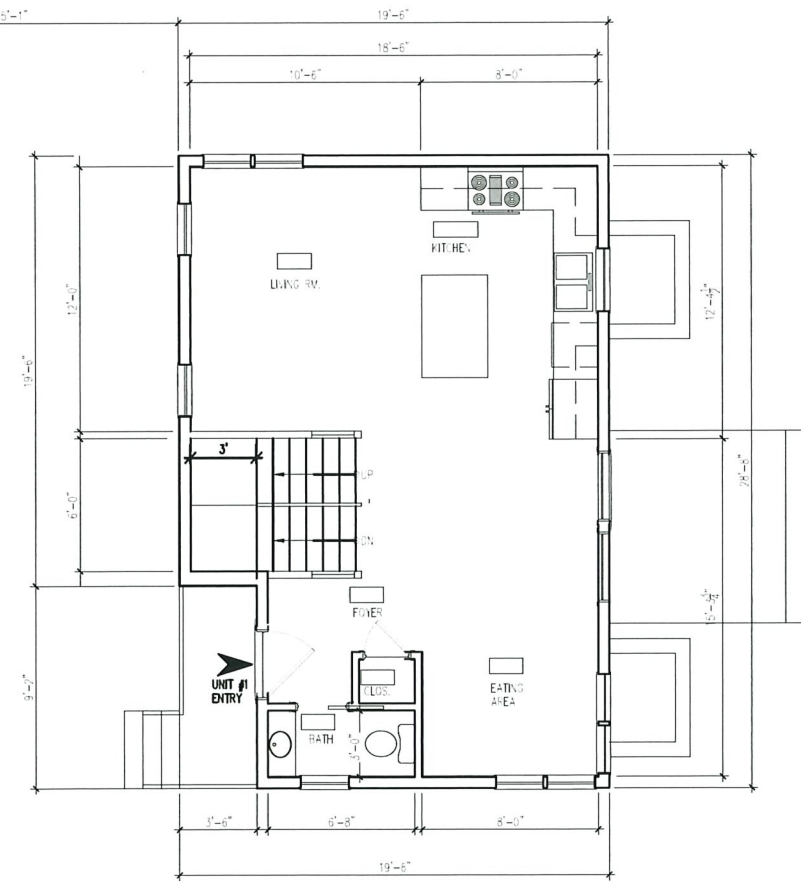
1 PLAN: BASEMENT UNIT 1
A1.1 Scale 1/4" = 1'-0"



2 PLAN: BASEMENT UNIT 2
A1.1 Scale 1/4" = 1'-0"



3 PLAN: FIRST FLOOR UNIT 1
A1.1 Scale 1/4" = 1'-0"



4 PLAN: FIRST FLOOR UNIT 2
A1.1 Scale 1/4" = 1'-0"

REVISIONS		
No.	Description	Date

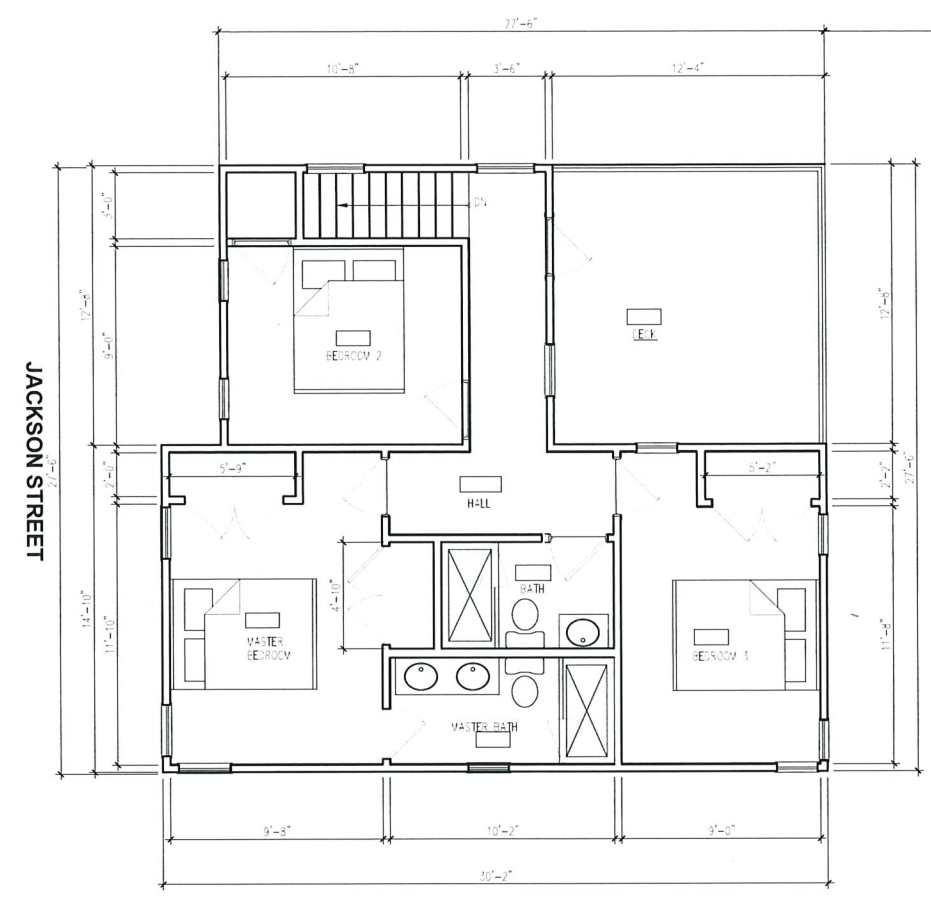
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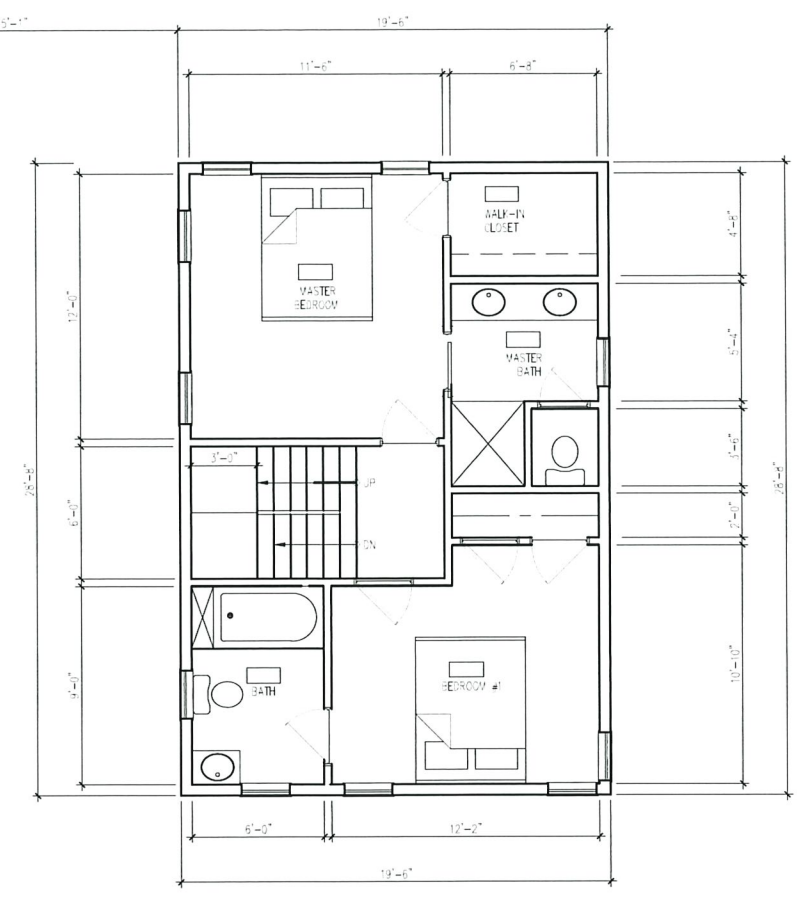
Title PROPOSED PLANS

Drawing Issued By: ANDERSON PORTER DESIGN
Fig. # _____ Drawing No. _____
Date: 00/00/0000
Scale: 1/4" = 1'-0"
Drawn By: DAKA

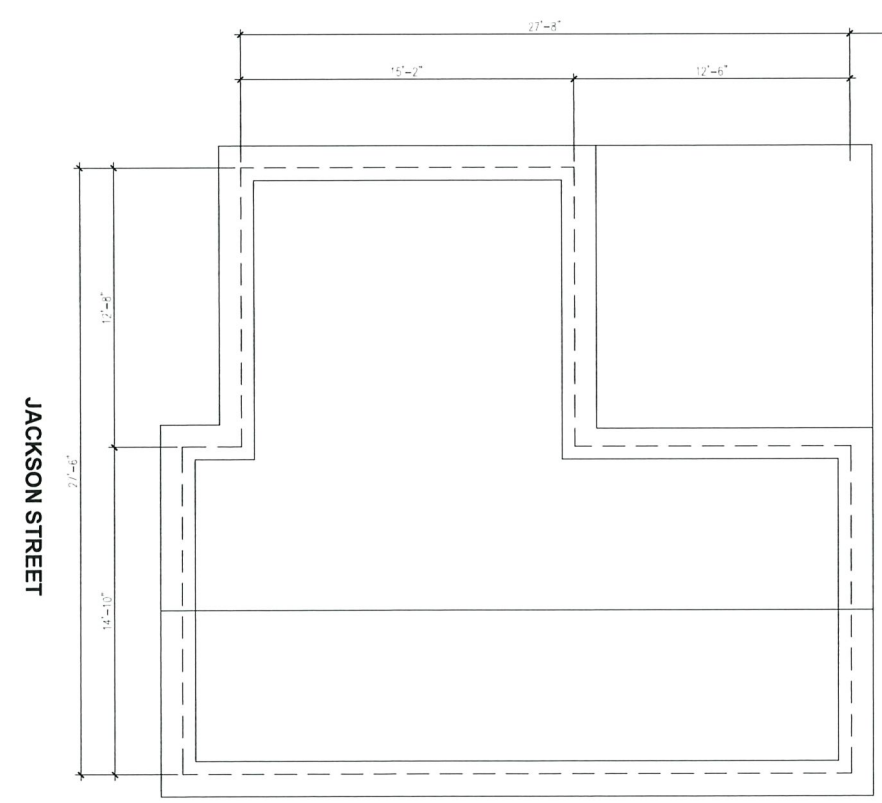
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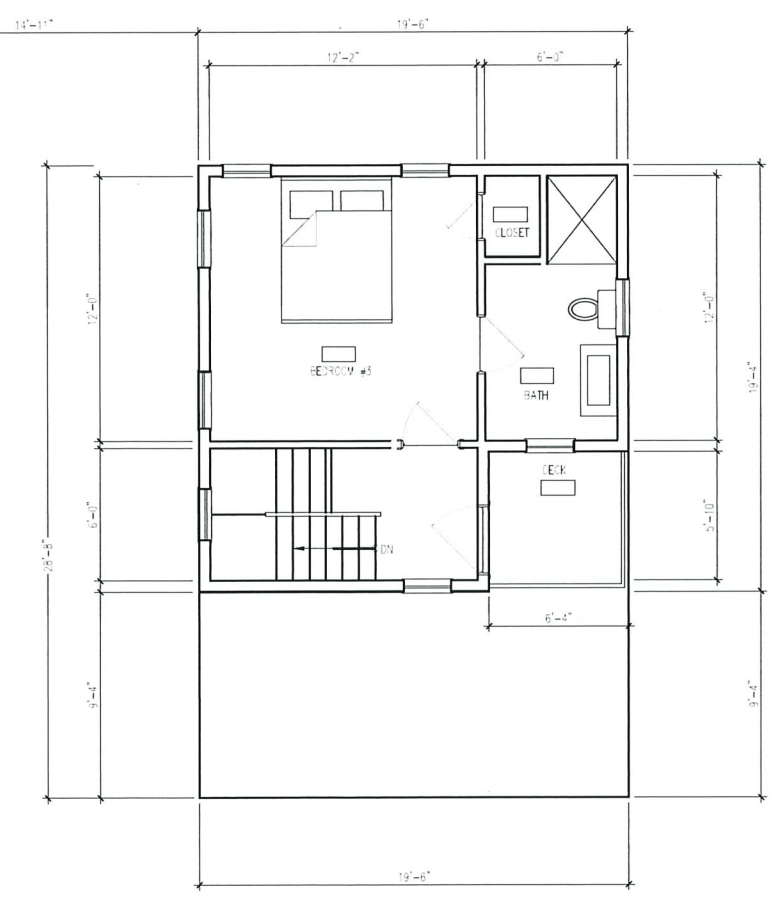
1 PLAN: SECOND FLOOR UNIT 1
A1.2 Scale 1/4" = 1'-0"



2 PLAN: SECOND FLOOR UNIT 2
A1.2 Scale 1/4" = 1'-0"



3 PLAN: ROOF UNIT 1
A1.2 Scale 1/4" = 1'-0"



4 PLAN: THIRD FLOOR UNIT 2
A1.2 Scale 1/4" = 1'-0"

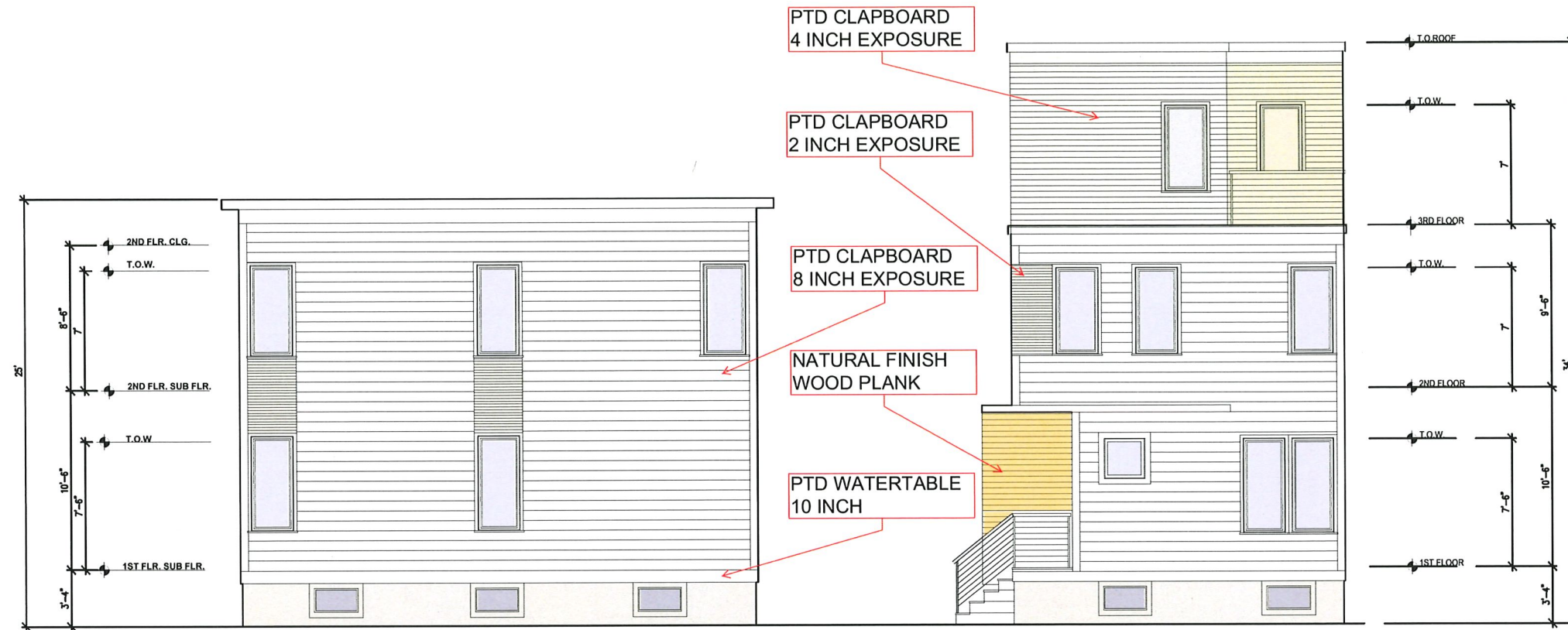
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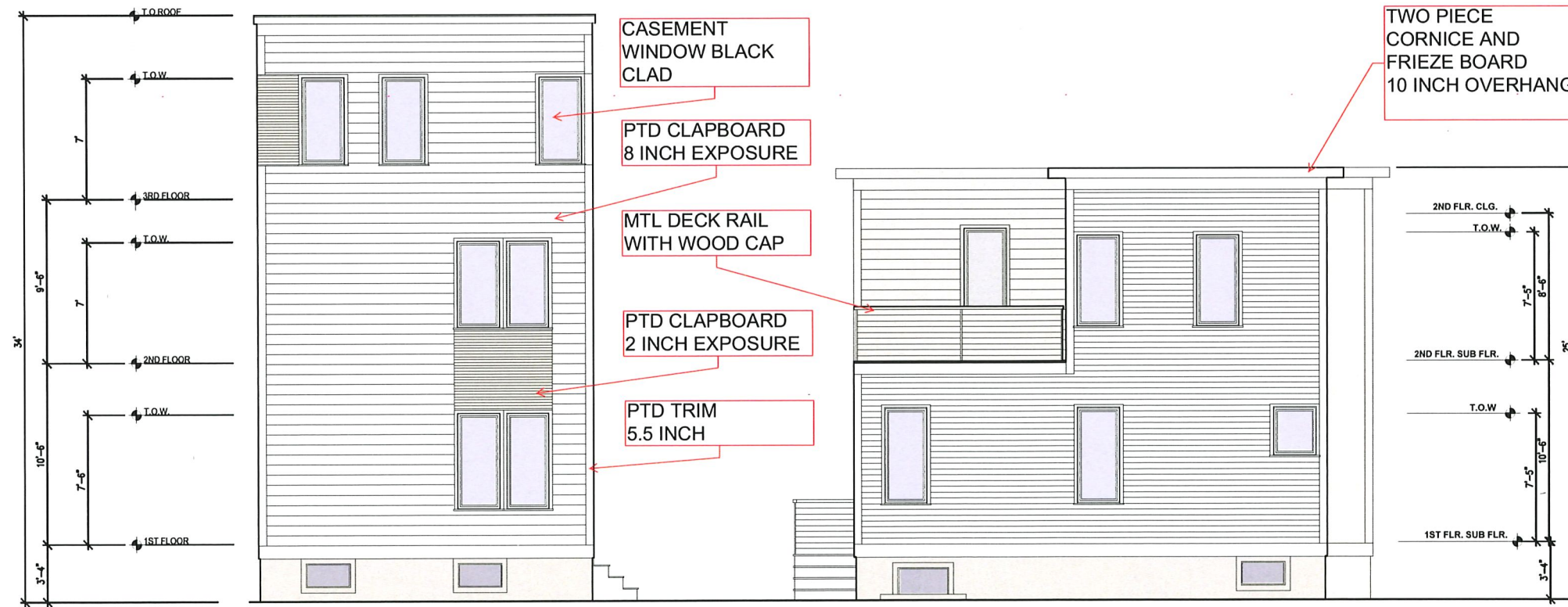
Title: PROPOSED PLANS

Drawn/checked by: ANDERSON PORTER DESIGN
Proj # - - - - -
Date: 00/00/0000
Scale: 1/4" = 1'-0"
Drawn by: DAKA



1 ELEVATION: SOUTH UNIT 1
A2.1 Scale 1/4" = 1'-0"

2 ELEVATION: SOUTH UNIT 2
A2.1 Scale 1/4" = 1'-0"



3 ELEVATION: NORTH UNIT 1
A2.1 Scale 1/4" = 1'-0"

4 ELEVATION: NORTH UNIT 2
A2.1 Scale 1/4" = 1'-0"

REVISIONS		
No.	Description	Date

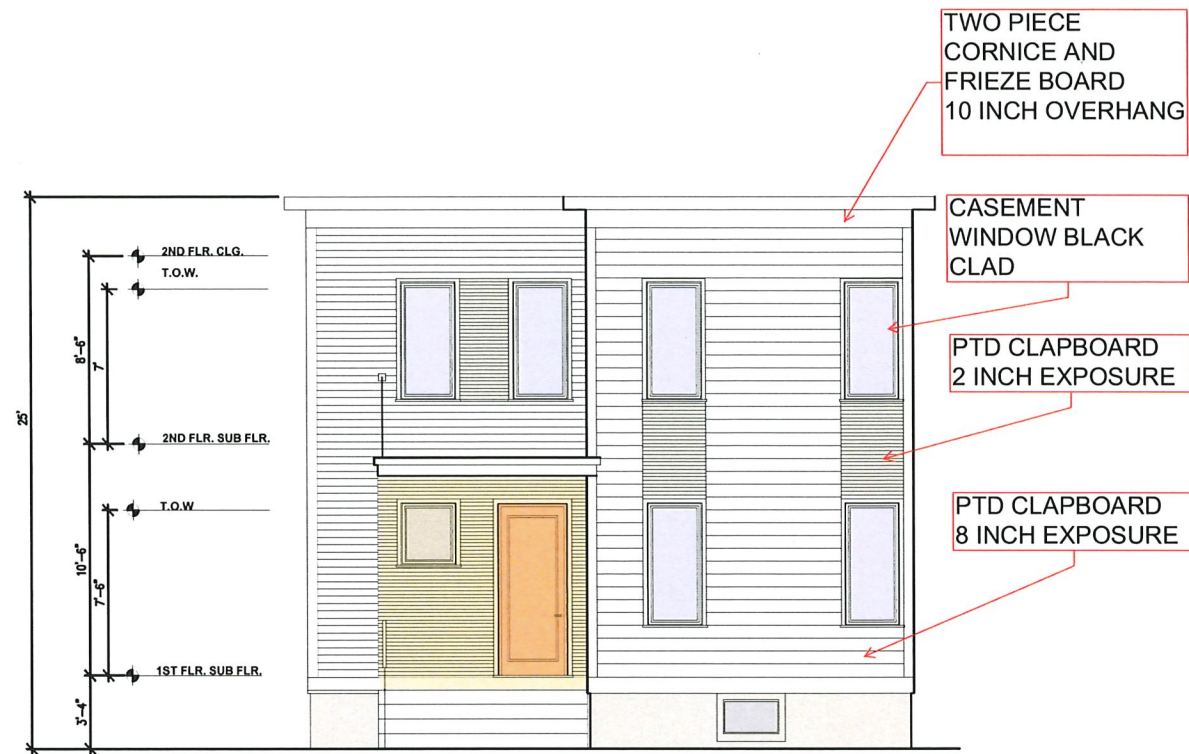
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Title: PROPOSED ELEVATIONS

Drawing/Issued By: ANDERSON PORTER DESIGN
Proj #: -
Date: 00/00/0000
Scale: 1/4" = 1'-0"
Drawn By: DAVKA

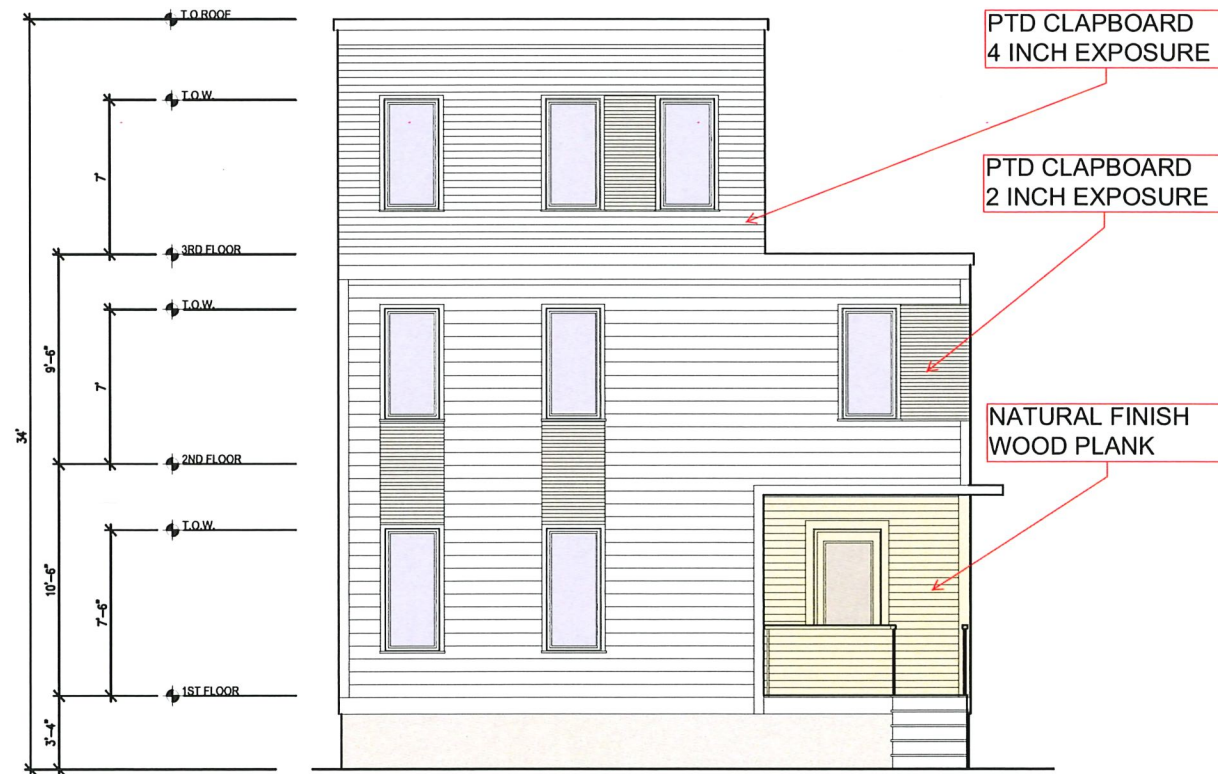
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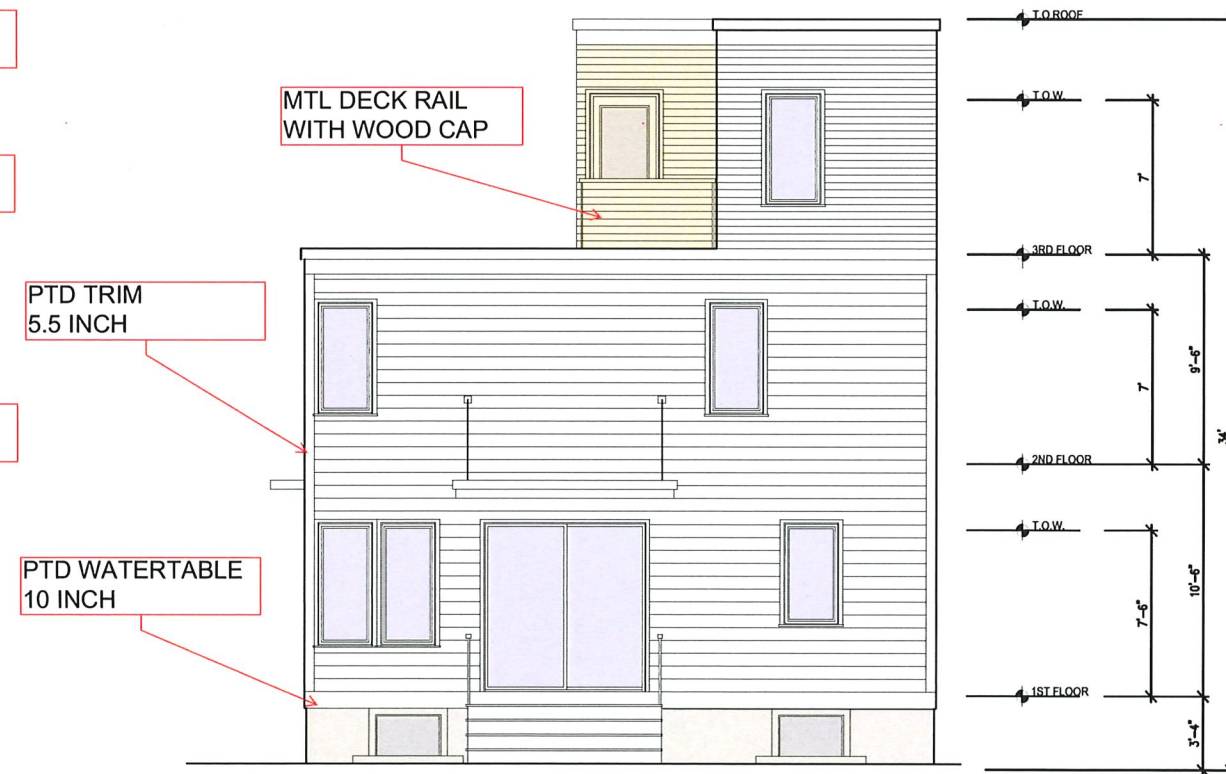
1 ELEVATION: WEST
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2 ELEVATION: EAST
A2.1 Scale 1/4" = 1'-0"



3 ELEVATION: WEST
A2.1 Scale 1/4" = 1'-0"



4 ELEVATION: EAST
A2.1 Scale 1/4" = 1'-0"

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02140

Title: EXISTING ELEVATIONS

Drawing/Issued By: ANDERSON PORTER DESIGN

Proj # :
Date: 00/00/0000
Scale: 1/4" = 1'-0"
Drawn By: DA/KA