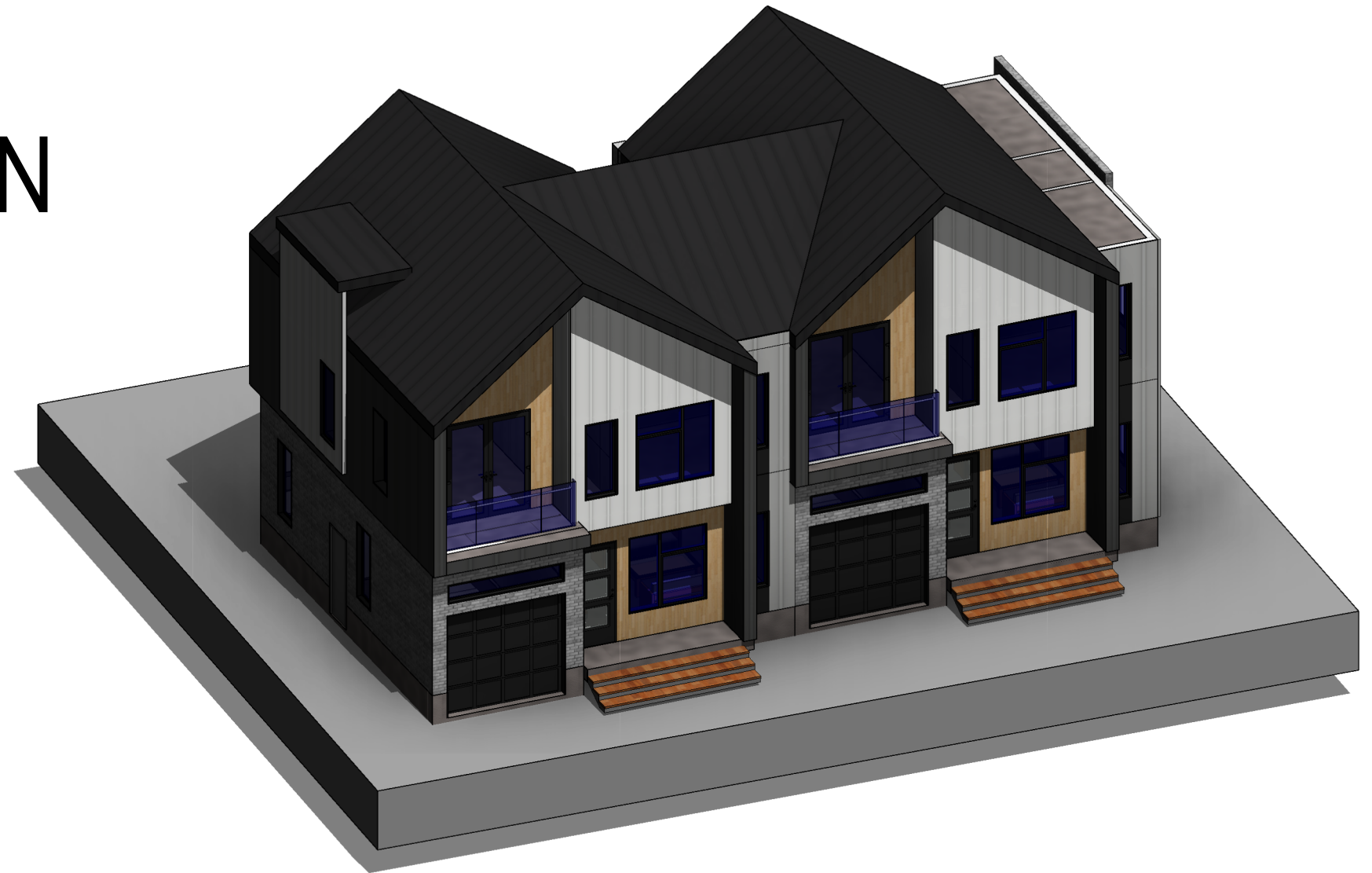


# HISTORIC COMMISSION REVIEW SET

315 RINDGE AVE, CAMBRIDGE, MA 02140



PROJECT DESCRIPTION:  
THIS PROJECT IS TO HAVE A NEW CONSTRUCTION DUPLEX  
BUILDING AT 315 RINDGE AVE CAMBRIDGE MA 02140

DRAWING LIST	
Sheet Number	Sheet Name
_G0.01	GENERAL NOTES
_G1.02	EXISTING SITE PLAN
_G1.03	PROPOSED SITE PLAN
_G1.04	EXISTING
_G1.05	PROPOSED
A1.00	BASEMENT PLAN
A1.01	1ST FLOOR PLAN
A1.02	2ND FLOOR PLAN
A1.04	ROOF PLAN
A4.01	EXTERIOR ELEVATIONS
A4.02	EXTERIOR ELEVATIONS

BUILDING PERMIT APPLICATION  
ISSUE DATE: JAN. 2024

COVER SHEET

Scale:

# GENERAL PROJECT NOTES

315 Rindge Ave,  
Cambridge, MA  
02140

1. NOTES APPEAR ON VARIOUS DRAWINGS FOR DIFFERENT SYSTEMS AND MATERIALS. REVIEW ALL SHEETS AND APPLY NOTES TO RELATED BUILDING COMPONENTS.

2. REFER TO COMPLETE SET OF ISSUED CONTRACT DOCUMENTS FOR APPLICABLE NOTES, ABBREVIATIONS, AND SYMBOLS.

3. WHERE MATERIALS ARE APPLIED TO, OR ARE IN DIRECT CONTACT WITH WORK INSTALLED BY ANOTHER SUBCONTRACTOR, COMMENCEMENT OF WORK IMPLIES ACCEPTANCE OF THE SUBSTRATE AS SUITABLE FOR THE APPLICATION INTENDED.

4. ISOLATE DISSIMILAR METALS TO PREVENT GALVANIC CORROSION.

5. PARTITION TYPES, FIRE RESISTIVE RATINGS, AND ACOUSTICAL RATINGS INDICATED FOR A PARTITION ARE TO BE CONTINUOUS FOR THE FULL LENGTH AND HEIGHT OF THAT PARTITION.

6. PENETRATIONS IN RATED WALL, FLOOR, CEILING AND ROOF ASSEMBLIES SHALL BE SEALED WITH A RATED PENETRATION SEALANT SYSTEM MEETING OR EXCEEDING THE REQUIRED FIRE RESISTIVE RATING OF THAT ASSEMBLY.

7. MAINTAIN THE FIRE RESISTIVE RATING OF CONSTRUCTION AROUND AND BEHIND CABINETS, ELECTRICAL PANELS, JUNCTION BOXES AND OTHER DEVICES OR EQUIPMENT RECESSED INTO RATED ASSEMBLIES.

8. INSTALL CONTINUOUS PERIMETER FIRE SAFING AT RATED FLOORS AND ROOFS AND COORDINATE THE INSTALLATION WITH THE EXTERIOR WALL. FIRE RATING OF SAFING SYSTEM SHALL MATCH FIRE RATING OF FLOOR AND/OR ROOF ASSEMBLY.

9. DO NOT SCALE THE DRAWING. IF DIMENSIONS ARE IN QUESTION OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING.

10. PRIOR TO COMMENCEMENT OF RELATED WORK: REVIEW, MEASURE, AND CONFIRM DIMENSIONS AND UTILITY CONNECTIONS OF OWNER PROVIDED EQUIPMENT AND FURNISHINGS. COORDINATE WITH THE OWNER ON DELIVERY AND INSTALLATION OF OWNER FURNISHED / CONTRACTOR INSTALLED (OF/CI) EQUIPMENT. MINIMUM REQUIRED OPENINGS AND ACCESSIBLE ROUTES TO THE INSTALLATION AREA SHALL BE COORDINATED WITH THE SUPPLIER.

11. INSTALL STIFFENERS, BRACING, BACKING PLATES AND/OR BLOCKING AS REQUIRED FOR SECURE INSTALLATION OF WALL AND CEILING MOUNTED ITEMS INCLUDING, BUT NOT LIMITED TO, TOILET PARTITIONS, DOORS AND WALL-MOUNTED DOOR HARDWARE, HANDRAILS, WALL-MOUNTED CASEWORK, ARTWORK, OPERABLE PARTITIONS, DEMOUNTABLE PARTITIONS, GLAZINGS, MISCELLANEOUS FURNISHINGS AND EQUIPMENT, MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT. WOOD BLOCKINGS, IF USED, SHALL BE FIRE AND MOISTURE TREATED. PROVIDE DELAGATED DESIGN FOR STRUCTURAL SUSPENSION SYSTEMS.

12. COORDINATE ALL BASE AND HOUSEKEEPING PADS WITH MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT. COORDINATE EXACT SIZE AND PLACEMENT OF EQUIPMENT BASE AND HOUSEKEEPING PADS WITH EQUIPMENT TO BE PROVIDED.

14. IN BUILDINGS TO BE OCCUPIED DURING CONSTRUCTION; DO NOT OBSTRUCT ACCESS TO EXISTING EXITS, OR REDUCE THE WIDTH OF EXIT PATHS.

15. PENETRATIONS IN EXTERIOR BUILDING AIR/VAPOR BARRIERS ARE NOT ALLOWED. CONTRACTOR SHALL VERIFY LOCATION OF EXTERIOR AIR/VAPOR BARRIERS PRIOR TO WORK ON EXTERIOR WALLS. EXTERIOR WALLS WITH AIR/VAPOR BARRIERS LOCATED ON THE INTERIOR SIDE OF STUD FRAMING SHALL NOT BE MODIFIED, INCLUDING MODIFICATIONS INDICATED FOR ELECTRICAL DEVICES AND/OR BLOCKING, WITHOUT PRIOR APPROVAL OF THE ARCHITECT.

16. FULLY LAY OUT STRUCTURAL GRIDS, WALL, AND WALL OPENINGS WITHIN CONSTRUCTION AREA PRIOR TO START OF PARTITION INSTALLATION. VERIFY THAT DIMENSIONS ARE CONSISTENT WITH REQUIREMENTS INDICATED IN THE DRAWINGS. REPORT ANY CONFLICTS OR DIMENSIONAL INCONSISTENCIES TO THE ARCHITECT PRIOR TO INSTALLATION.

17. FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE OR UNFINISHED FLOOR UNLESS NOTED OTHERWISE.

18. FLATTEN FLOORS THAT EXCEED 1/4" VARIANCE IN A 10'-0" RADIUS.

19. CAULK AT JUNCTURE OF INTERIOR FACES OF DOOR FRAMES, VIEW WINDOW FRAMES, EXTERIOR WINDOW FRAMES, AND CABINET WORK WITH ADJACENT MATERIALS.

20. COORDINATE LOCATION OF ALL CEILING MOUNTED DEVICES INCLUDING, BUT NOT LIMITED TO, DIFFUSERS, SPEAKERS, SPRINKLER HEADS, DETECTORS, ACCESS PANELS, AV EQUIPMENT, AND LIGHTING. REPORT ANY CONFLICTS TO THE ARCHITECT PRIOR TO INSTALLATION.

21. EXIT SIGNS AND SMOKE DETECTORS LOCATED IN CEILINGS SHALL BE POSITIONED AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION. EXIT SIGNS SHALL TYPICALLY BE CENTERED IN CORRIDORS AND LOCATED ABOVE DOORWAYS A DISTANCE OF 1'-0" FROM THE WALL TO THE CENTER OF THE FIXTURE UNLESS NOTED OTHERWISE.

22. GANG MULTIPLE SWITCHES TOGETHER INTO ONE BOX WITH A SINGLE COVER PLATE WHENEVER POSSIBLE. MULTIPLE SWITCHES, WHICH CANNOT BE GANGED TOGETHER IN THE SAME BOX, SHALL BE LOCATED AS CLOSE TOGETHER AS POSSIBLE AND MOUNTED AT THE SAME HEIGHT. DEVICES WITH VARYING HEIGHT REQUIREMENTS MOUNTED ON COLUMNS OR ADJACENT TO DOORS SHALL BE STACKED VERTICALLY ALONG THEIR CENTERLINES.

23. PRIOR TO CORE DRILLING EXISTING FLOORS FOR NEW PLUMBING AND/OR ELECTRICAL DEVICES, ALL LOCATIONS MUST BE APPROVED WITH ARCHITECT AND BUILDING MANAGEMENT.

24. DO NOT INSTALL OUTLET OR JUNCTION BOXES BACK-TO-BACK ON OPPOSITE SIDES OF THE WALL. BOXES MUST BE SEPARATED BY A STUD.

25. ACOUSTICALLY SEAL ALL THROUGH-FLOOR ELECTRICAL DEVICES AND WALL MOUNTED JUNCTION BOXES WITH AN ACOUSTIC SEALANT OR PUTTY PAD AS REQUIRED TO MAINTAIN INDICATED STC RATINGS.

26. ACCESSORIES SUCH AS GRAB BARS, TOWEL BARS, PAPER DISPENSERS AND SOAP DISHES INSTALLED WITHIN 2' OF A URINAL, WATER CLOSET, SINK OR LAVATORY SHALL BE MOISTURE SEALED.

27. DO NOT HANG (SUPPORT) ANY ITEMS DIRECTLY FROM METAL ROOF DECK WHERE IT OCCURES. IT IS ACCEPTABLE TO ATTACH, ITEMS SUCH AS CEILING SYSTEM WIRE HANGERS FROM JOISTS AND/ OR BEAMS. IF NO JOIST OR BEAM IS AVAILABLE PROVIDE SUPPLEMENTAL STEEL FRAMING AS NECESSARY TO DISTRIBUTE LOADS TO SURROUNDING STRUCTURE.

28. SEALANTS EXPOSED TO VIEW SHALL BE CUSTOM COLOR AS SELECTED BY THE ARCHITECT.

29. COORDINATE LOCATION AND COMPATIBILITY OF SEALANTS WITH ADJACENT WORK, INCLUDING MATERIALS AND OTHER CONTIGUOUS SEALANTS.

30. ALL EXTERIOR STEEL HANDRAILS, GUARDRAILS, AND BOLLARDS SHALL BE GALVANIZED AND PAINTED UNLESS OTHERWISE NOTED.

31. CONTRACTORS RESPONSIBLE FOR COORDINATING PLUMBING, MECHANICAL, ELECTRICAL FIXTURES AND DEVICES TO MEET CURRENT CODE REQUIREMENTS.

32. CONTRACTOR SHALL VERIFY EXISTING DIMMEMSIONS AND CONFIRM WITH ARCHITECTS/OWNER BEFORE PROCEED TO CONSTRUCT

ISSUE CHART

Job Number \_\_\_\_\_  
Checked \_\_\_\_\_ Checker \_\_\_\_\_  
Approved \_\_\_\_\_ Approver \_\_\_\_\_  
TITLE

**GENERAL  
NOTES**

SHEET NUMBER

**\_G0.01**



SITE PLAN  
1" = 30'-0"

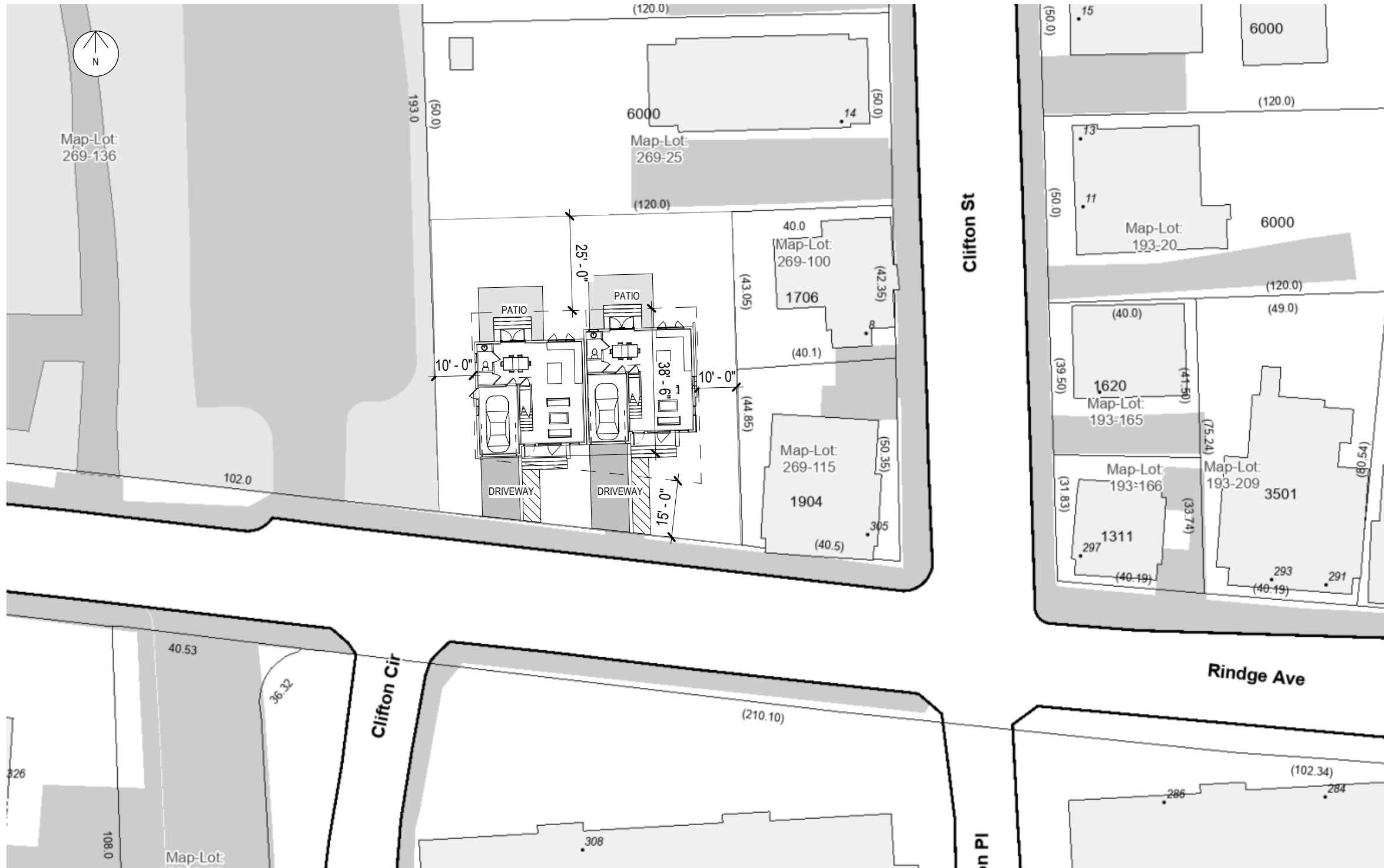
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TITLE

EXISTING SITE PLAN

SHEET NUMBER

**\_G1.02**



ISSUE CHART

NO	ISSUE	DATE

Job Number \_\_\_\_\_  
 Checked \_\_\_\_\_ Checker \_\_\_\_\_  
 Approved \_\_\_\_\_ Approver \_\_\_\_\_  
 TITLE \_\_\_\_\_

**PROPOSED SITE PLAN**

SHEET NUMBER

**\_G1.03**



315 Rindge Ave,  
Cambridge, MA  
02140



ISSUE CHART

NO	ISSUE	DATE
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Approved		Approver
TITLE		

EXISTING

SHEET NUMBER

**\_G1.04**



315 Rindge Ave,  
Cambridge, MA  
02140



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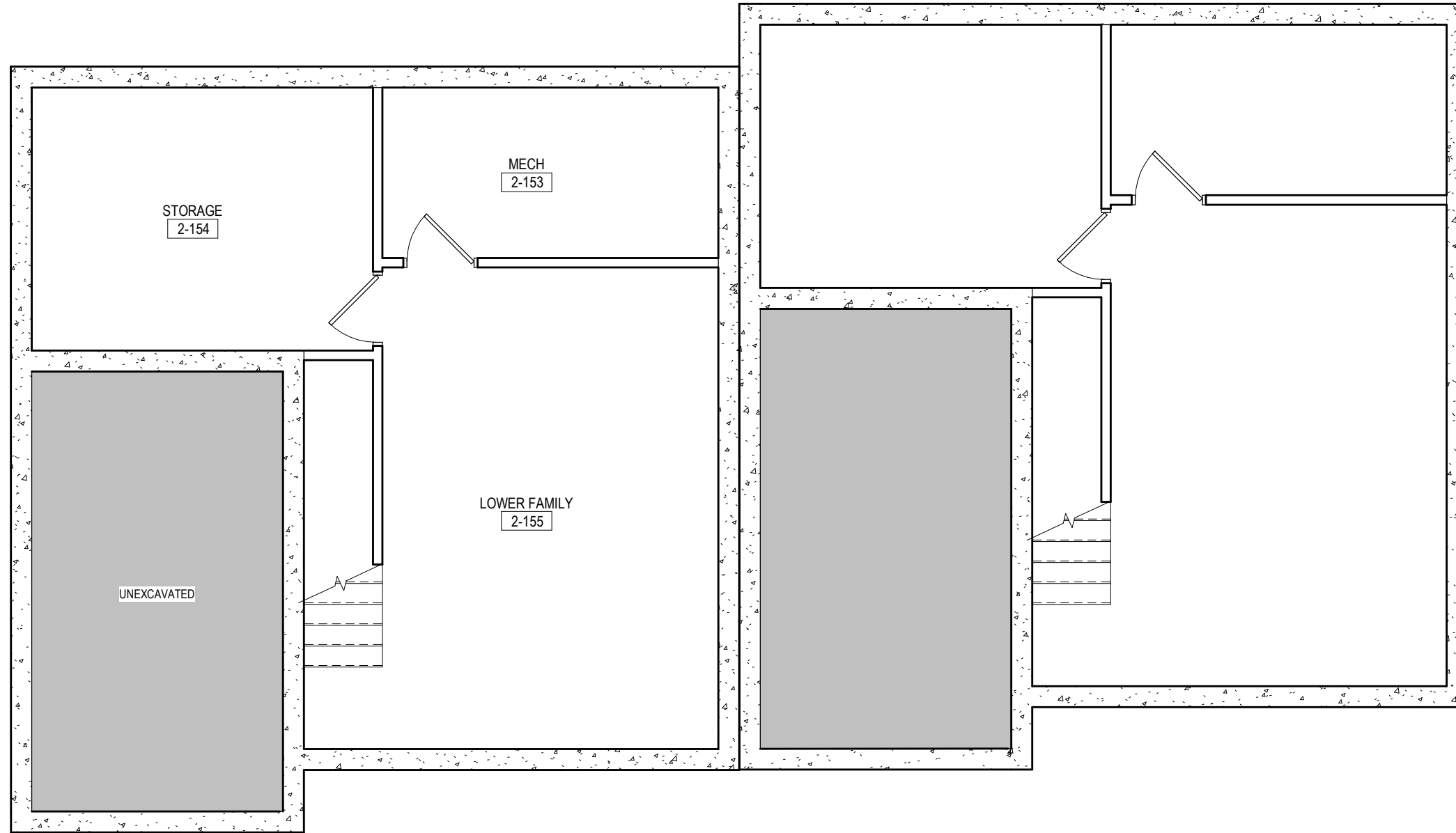
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TITLE		

PROPOSED

SHEET NUMBER

**\_G1.05**





**BASEMENT FLOOR PLAN**

3/16" = 1'-0"

GFA CALCULATION

FLOOR	PROPOSED
BASEMENT	1,252 SF*
1ST FLOOR	1,680 SF
2ND FLOOR	1,640 SF
ATTIC	N/A

\* NOT INCLUDED IN GFA

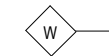
LOT SIZE: 6,650 SF  
ZONE: RB  
PROPOSED GFA: 3,320 SF  
ALLOWABLE GFA: 3,325 SF

TOTAL 3,320 SF

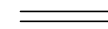
**FLOOR PLAN LEGEND**



EXISTING PARTITION TO  
REMAIN



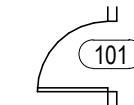
WINDOW TYPE



NEW PARTITION



SMOKE, CO, HEAT SENSOR



DOOR NUMBER,

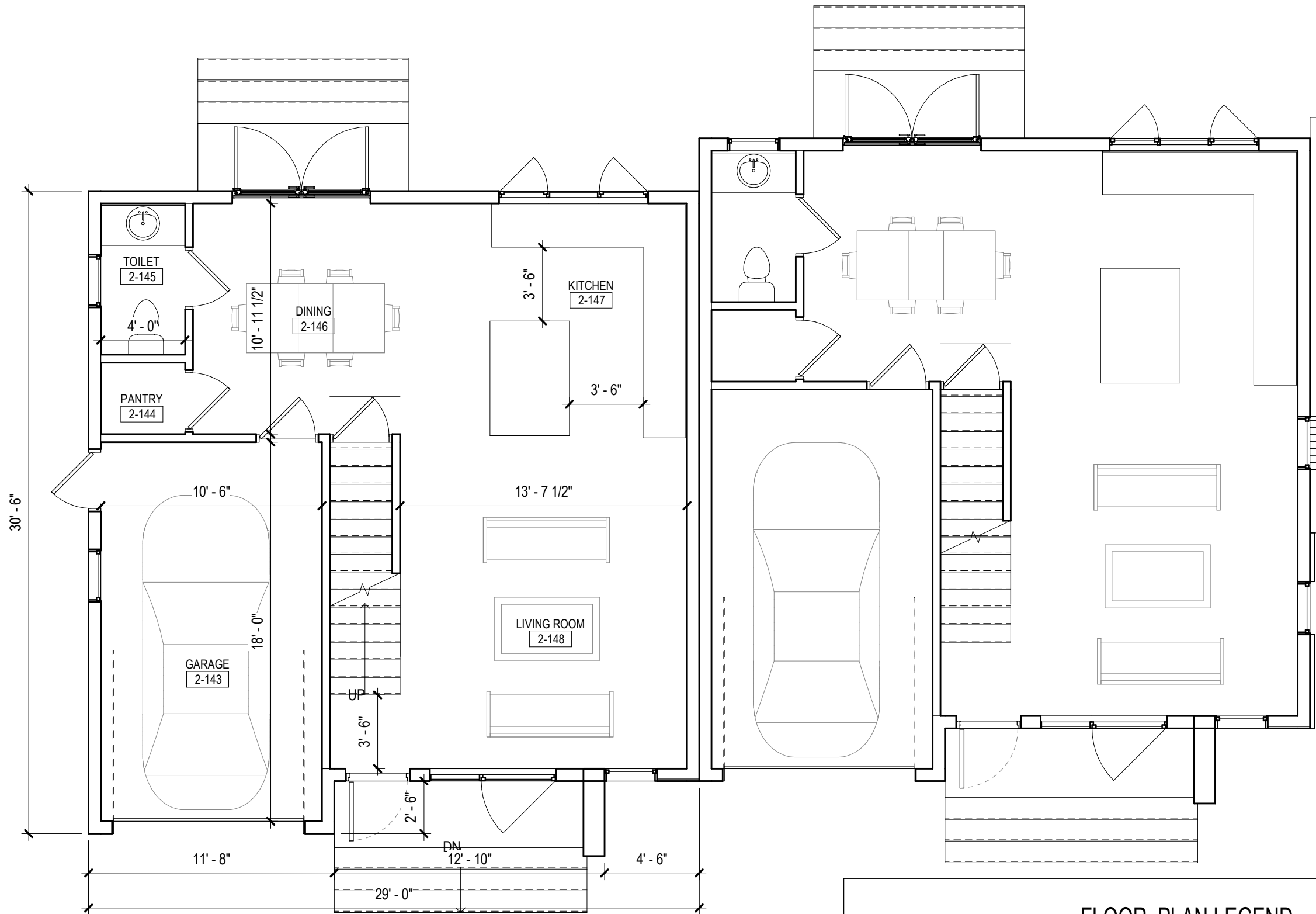
ISSUE CHART

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Approved \_\_\_\_\_ Approver \_\_\_\_\_  
TITLE

**BASEMENT PLAN**

SHEET NUMBER

**A1.00**



**FIRST FLOOR PLAN**

3/16" = 1'-0"

**GFA CALCULATION**

FLOOR	PROPOSED
BASEMENT	1,252 SF*
1ST FLOOR	1,680 SF
2ND FLOOR	1,640 SF
ATTIC	N/A
<b>TOTAL</b>	<b>3,320 SF</b>

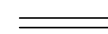
\* NOT INCLUDED IN GFA

LOT SIZE: 6,650 SF  
ZONE: RB  
PROPOSED GFA: 3,320 SF  
ALLOWABLE GFA: 3,325 SF

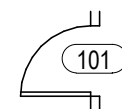
**FLOOR PLAN LEGEND**



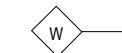
EXISTING PARTITION TO REMAIN



NEW PARTITION



DOOR NUMBER,



WINDOW TYPE



SMOKE, CO, HEAT SENSOR

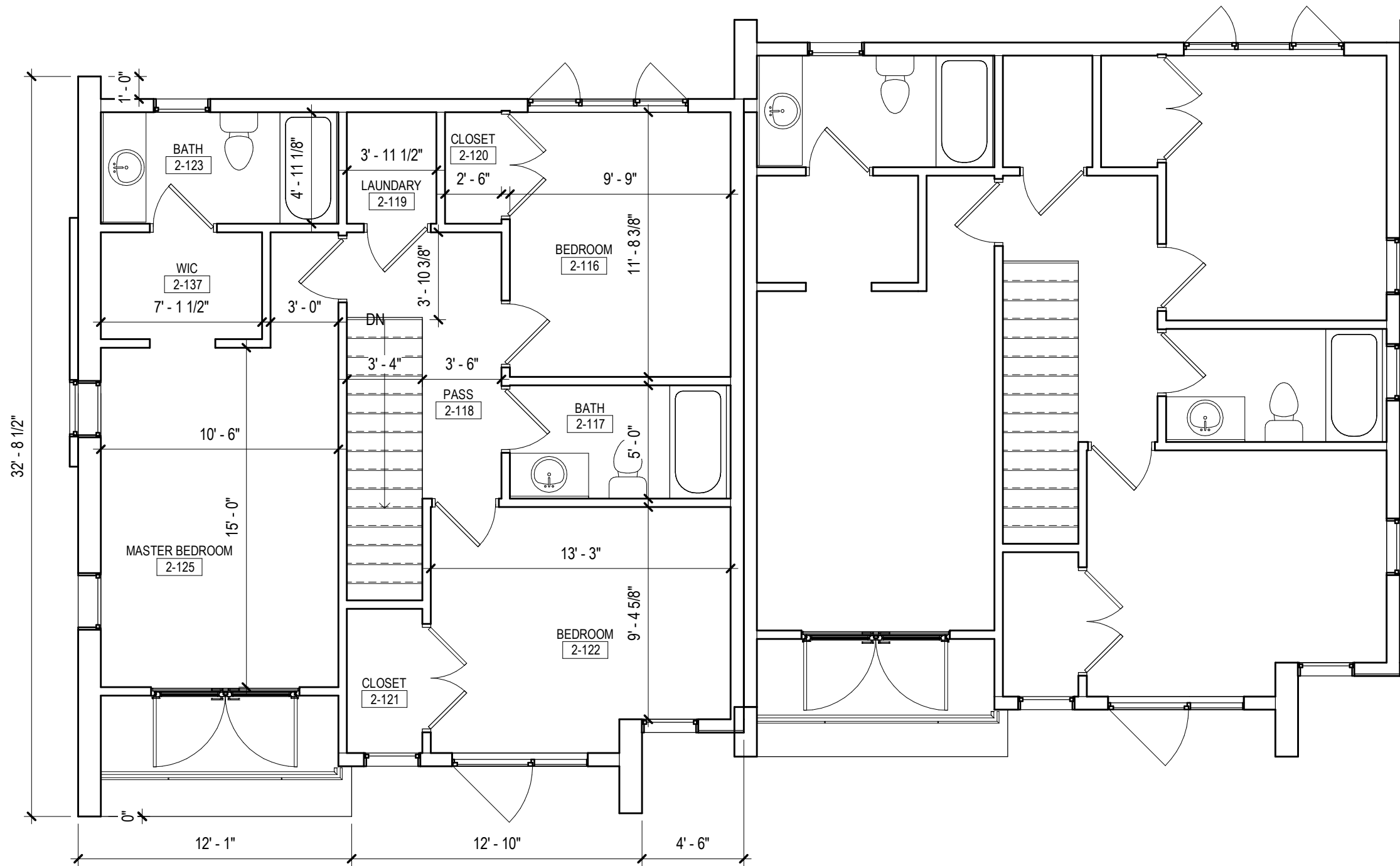
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Approved \_\_\_\_\_ Approver \_\_\_\_\_  
TITLE

**1ST FLOOR PLAN**

SHEET NUMBER

**A1.01**



**SECOND FLOOR PLAN**

3/16" = 1'-0"

GFA CALCULATION

FLOOR	PROPOSED
BASEMENT	1,252 SF*
1ST FLOOR	1,680 SF
2ND FLOOR	1,640 SF
ATTIC	N/A
<b>TOTAL</b>	<b>3,320 SF</b>

\* NOT INCLUDED IN GFA

LOT SIZE: 6,650 SF  
ZONE: RB  
PROPOSED GFA: 3,320 SF  
ALLOWABLE GFA: 3,325 SF

**FLOOR PLAN LEGEND**

- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- DOOR NUMBER,
- WINDOW TYPE
- SMOKE, CO, HEAT SENSOR

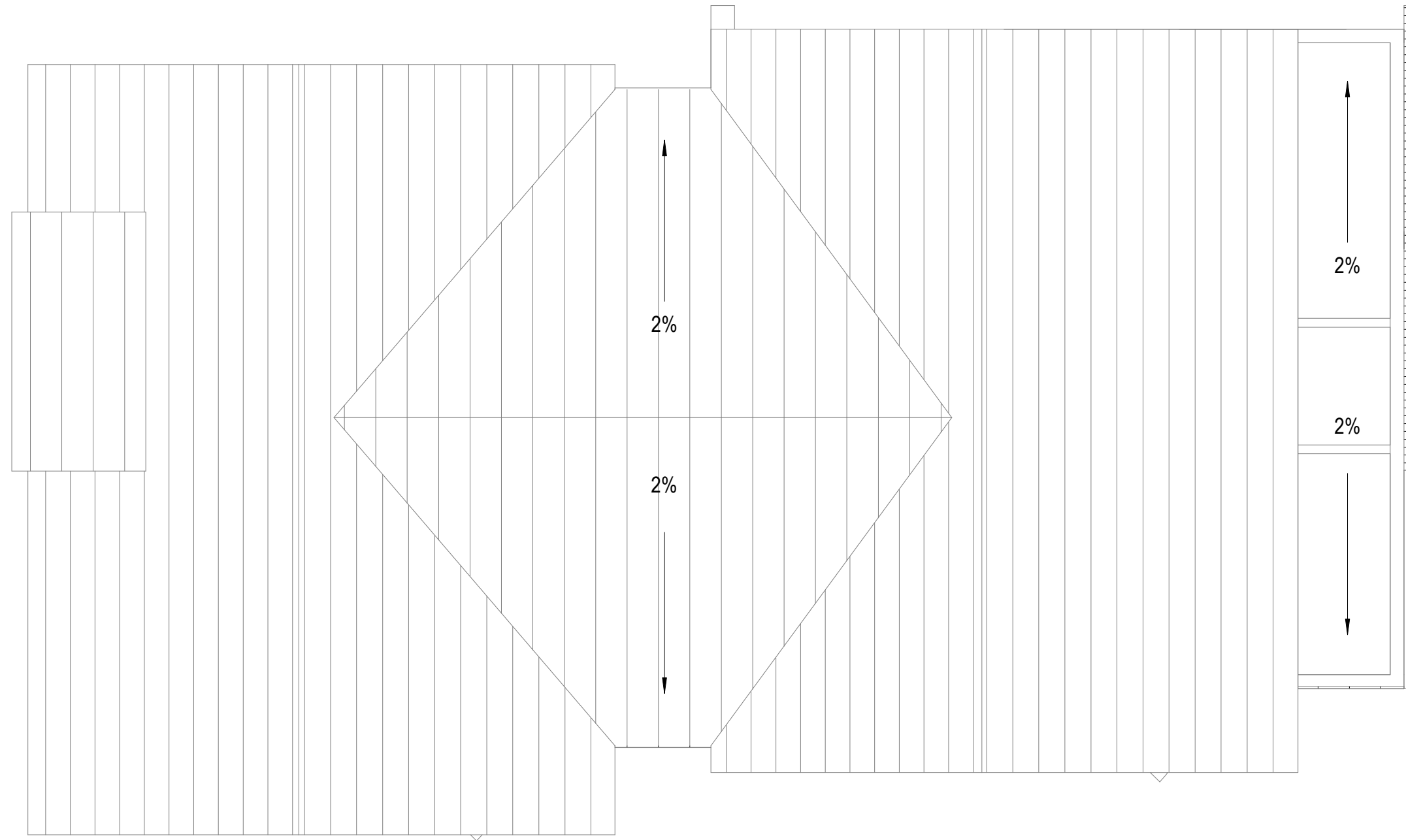
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Approved \_\_\_\_\_ Approver \_\_\_\_\_  
TITLE

**2ND FLOOR PLAN**

SHEET NUMBER

**A1.02**



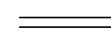
ROOF PLAN

3/16" = 1'-0"

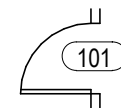
FLOOR PLAN LEGEND



EXISTING PARTITION TO  
REMAIN



NEW PARTITION



DOOR NUMBER,



WINDOW TYPE



SMOKE, CO, HEAT SENSOR

ISSUE CHART

Job Number \_\_\_\_\_  
Checked \_\_\_\_\_ Checker \_\_\_\_\_  
Approved \_\_\_\_\_ Approver \_\_\_\_\_  
TITLE

ROOF PLAN

SHEET NUMBER

**A1.04**



EXTERIOR ELEVATIONS LEGEND	
	EXTERIOR WINDOW ASSEMBLY
	WHITE STUCCO
	DARY GRAY STUCCO
	LIGHT GRAY BRICK VENEER
	KWP VERTICAL SIDING YELLOWSTONE RUSTIC
	DARK GRAY ARCHITECTURAL SHINGLE ROOF

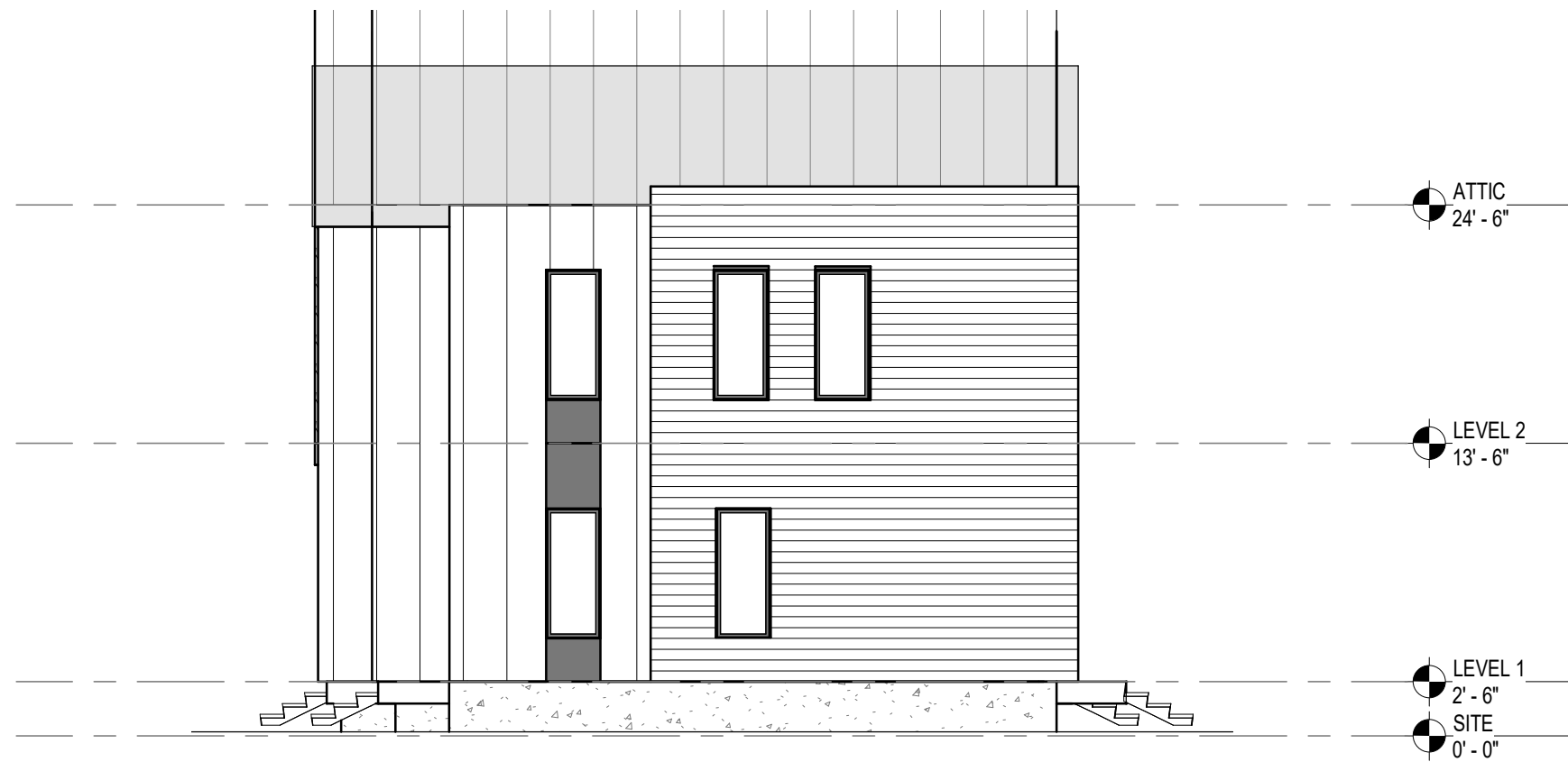
ISSUE CHART

Job Number \_\_\_\_\_  
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Approved \_\_\_\_\_ Approver \_\_\_\_\_  
TITLE

**EXTERIOR ELEVATIONS**

SHEET NUMBER

**A4.01**



GENERAL NOTE:  
GC TO REFER TO SIDING PRODUCT  
MANUFACTURE INSTALLATION  
GUIDE FOR PANEL JOINTS AND  
WINDOW OPENING DETAILS.

ISSUE CHART

EXTERIOR ELEVATIONS LEGEND	
	EXTERIOR WINDOW ASSEMBLY
	WHITE STUCCO
	DARY GRAY STUCCO
	LIGHT GRAY BRICK VENEER
	KWP VERTICAL SIDING YELLOWSTONE RUSTIC
	DARK GRAY ARCHITECTURAL SHINGLE ROOF

Job Number \_\_\_\_\_  
Checked \_\_\_\_\_ Checker \_\_\_\_\_  
Approved \_\_\_\_\_ Approver \_\_\_\_\_  
TITLE \_\_\_\_\_

EXTERIOR  
ELEVATIONS

SHEET NUMBER

**A4.02**