



CAMBRIDGE HISTORICAL COMMISSION

RECEIVED

831 Massachusetts Avenue, 2nd Fl., Cambridge, Massachusetts 02139

Telephone: 617 349 4683 Fax: 617 349 3116 TTY: 617 349 6112

E-mail: histcomm@cambridgema.gov URL: http://www.cambridgema.gov/Historio

AUG 16 2016

APPLICATION FOR CERTIFICATE

CAMBRIDGE HISTORICAL COMMISSION

1. The undersigned hereby applies to the Cambridge Historical Commission for a Certificate of (check one box): Appropriateness, Nonapplicability, or Hardship, in accordance with Chapter 40C of the Massachusetts General Laws and/or Chapter 2.78 of the Municipal Code.

2. Address of property: 43 Reservoir Street, Cambridge, Massachusetts

3. Describe the proposed alteration(s), construction or demolition in the space provided below: (An additional page can be attached, if necessary).

Exterior maintenance of the existing house to include:

- The cleaning and painting of existing stucco. The existing stucco finish to remain.
- The stripping/scraping and repainting of all existing trim.
- The replacement of existing dental trim with holes provided that the holes are not for aesthetic reasons, but for roof venting.
- The replacement of existing roof with a new slate roof to match the slate on the existing garage.
- The removal and re-installation of copper gutters for the purposes of stripping and repainting trim.
- The installation of shutters on east and south elevations.
- The removal of the existing trellis at the south elevation of the house.
- The demolition of the second floor sleeping porch.
- The demolition of the existing pergola at the west elevation of the house.
- The restoration of the existing leaded glass windows in the Living Room bay.
- The replacement of existing windows with new custom replacement wood windows.

I certify that the information contained herein is true and accurate to the best of my knowledge and belief. The undersigned also attests that he/she has read the statements printed on the reverse.

Name of Property Owner of Record: Daniel Sterner & Elizabeth Clark Libert	
Mailing Address: 43 Reservoir Street, Cambridge, MA 02138	
Telephone/Fax: 610-451-6062 (Dan Cell)	E-mail: dsterner@forestproperties.net
Signature of Property Owner of Record:	
(Required field; application will not be considered complete without property owner's signature)	
Name of proponent, if not record owner:	
Mailing Address:	
Telephone/Fax:	E-mail:

(for office use only):		
Date Application Received: 8/16/16	Case Number: 3675	Hearing Date: 9/8/16
Type of Certificate Issued: _____	Date Issued: _____	

* visible from public way and advertised for public hearing. As noted by S. Burks, CHC

STERNER RESIDENCE

**43 RESERVOIR STREET
CAMBRIDGE, MA**



HISTORIC REVIEW

08/15/16

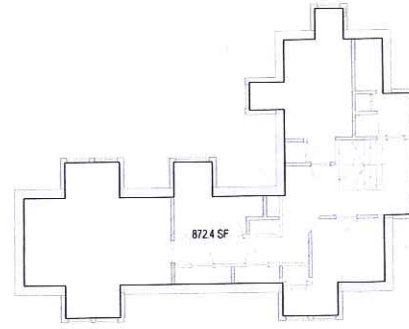
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ARCHITECTURE & INTERIORS

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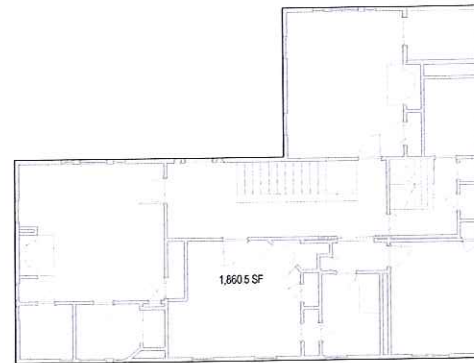
F.A.R. DIAGRAMS

ZONING CALCULATIONS	
BASEMENT AREA:	N/A
FIRST FLOOR AREA:	2,042.8 SF
SECOND FLOOR AREA:	1,660.5 SF
ATTIC FLOOR AREA:	872.4 SF
TOTAL AREA:	4,775.7 SF
EXISTING TOTAL AREA:	4,905.8 SF
F.A.R. ALLOWABLE AREA:	12,817 SF

 FLOOR AREA GROSS



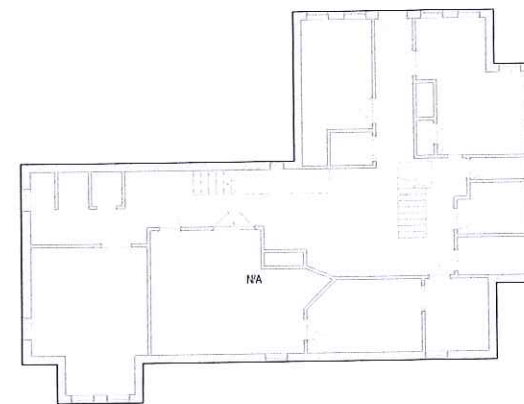
4 ATTIC FLOOR PLAN ZONING



3 SECOND FLOOR ZONING PLAN



2 FIRST FLOOR ZONING DIAGRAM



1 BASEMENT PLAN ZONING

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	OC	ON CENTER
CIP	CAST-IN-PLACE CONCRETE	PCF	POUND PER CUBIC FOOT
CONC	CONCRETE	PLAM	PLASTIC LAMINATE
DA	DIAMETER	PT	PRESERVATIVE TREATED
DN	DOWN	PVC	POLYVINYL CHLORIDE
EXIST	EXISTING	R	RISER
FIN	FINISH	RO	ROUGH OPENING
FLR	FLOOR	SF	SQUARE FOOT
FT	FOOT	SHT	SHEET
		SIM	SIMILAR
		SPEC	SPECIFICATIONS
GC	GENERAL CONTRACTOR	T	TREAD
GWB	GYPSUM WALL BOARD	T&G	TONGUE AND GROOVE
HP	HIGH POINT	TYP	TYPICAL
IN	INCH	VCT	VINYL COMPOSITION TILE
		VF	VERIFY IN FIELD
MAX	MAXIMUM	W	WITH
MDF	MEDIUM DENSITY FIBERBOARD	W/O	WITHOUT
MDO	MEDIUM DENSITY OVERLAY		
MFI	MINIMUM	&	AND
MSC	MISCELLANEOUS	@	AT
MO	MASONRY OPENING	#	NUMBER
NTS	NOT TO SCALE	CL	CENTERLINE













ZONING

LOCATION:	43 RESERVOIR STREET CAMBRIDGE, MA 02138
DEED BOOK:	BOOK 63349, PAGE 225
MAPLOT:	237-26
ZONING ORDINANCE:	CITY OF CAMBRIDGE ZONING ORDINANCE ORDINANCE #1372, JUNE 15, 2016
ZONING DISTRICT:	A-1
LOT AREA	MINIMUM 8,000SF ACTUAL: 25,634 SF
F.A.R.	MAXIMUM (0.5) 12,817 SF ACTUAL: 4,775.7 SF
SETBACKS	FRONT YARD MINIMUM 25'-0"
	BACKYARD MINIMUM 15'-0"
	SIDE YARD MINIMUM 25'-0"
MAXIMUM BUILDING HEIGHT	MAXIMUM 35'-0" ACTUAL: 28'-5" (ESTIMATE)

BUILDING CODE

BUILDING CODE:	INTERNATIONAL RESIDENTIAL CODE 2009 (IRC) 760 CHRS 5.00, MASSACHUSETTS AMENDMENTS TO THE IRC ONE AND TWO FAMILY DWELLING
ENERGY CODE:	780 CMR, 6TH EDITION, APPENDIX 115 AA "STRETCH" ENERGY CODE INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2009
MINIMUM THERMAL PERFORMANCE (CLIMATE ZONE 5)	
CEILING MINIMUM	R-38 ACTUAL: R-38 MINIMUM
WALLS MINIMUM	R-20 N/A
BASEMENT WALLS MINIMUM	R-10 (CONTINUOUS) N/A
CRAWLSPACE WALLS MINIMUM	R-10 (CONTINUOUS) N/A
SLAB ON-GRADE MINIMUM	R-0 N/A
FENESTRATION MAXIMUM	U-0.30 N/A

SYMBOLS KEY

	LEVEL EL: #'-#"		ROOM NAME
	DOOR REFERENCE NUMBER		ELEVATION CALL OUT
	INTERIOR ELEVATION REFERENCE		SECTION CALL OUT
	KEYNOTE REFERENCE		NORTH ARROW
	STRUCTURAL GRID LINE		PARTITION REFERENCE
	WINDOW REFERENCE NUMBER		DETAIL REFERENCE

DRAWING LIST

00	COVER
G100	INDEX SHEET
G101	WINDOW SCHEDULE
A100	BASEMENT FLOOR PLAN
A101	1ST FLOOR PLAN
A102	2ND FLOOR PLAN
A103	3RD FLOOR PLAN
A104	ROOF PLAN
A200	EXISTING EXTERIOR ELEVATION - EAST (FRONT)
A201	EXISTING EXTERIOR ELEVATION - SOUTH (SIDE)
A202	EXISTING EXTERIOR ELEVATION - WEST (REAR)
A203	EXISTING EXTERIOR ELEVATION - NORTH (SIDE)

GENERAL PROJECT NOTES

- THE PROJECT CONSISTS OF EXTERIOR AND INTERIOR MAINTENANCE OF AN EXISTING SINGLE FAMILY RESIDENCE.
- THE DRAWINGS ARE INTENDED TO BE READ IN CONJUNCTION WITH SPECIFICATIONS. PROMPTLY REPORT DISCREPANCIES IN THE DRAWINGS AND BETWEEN DRAWINGS AND SPECIFICATIONS TO THE ARCHITECT AND/OR OWNER.
- THE CONTRACTOR IS TO COMPLETE THE WORK IN COMPLIANCE WITH ZONING ORDINANCES, BUILDING CODES, ENERGY CODES AND GENERAL LAWS APPLICABLE TO THE REGULATORY JURISDICTION OF THE PROJECT.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND THE CONTRACTOR'S SUB-CONTRACTORS TO REVIEW EXISTING SITE AND BUILDING CONDITIONS TO THE EXTENT NECESSARY TO CONFIRM THAT THE WORK CAN BE EXECUTED WITHOUT DELAYS OR ADDITIONAL COST.

LOCUS MAP



LOCATION MAP



STERNER RESIDENCE

Project Number

43 RESERVOIR STREET
CAMBRIDGE, MA

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www.LDA-Architects.com

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HISTORIC SET

REVISION:

DATE: 08/15/16

SCALE: As indicated

DRAWN: Author

CHECKED: Checker

SHEET INFO: INDEX SHEET

G100

WINDOW SCHEDULE

BASEMENT

NUMBER	WIDTH - VF	HEIGHT - VF	TYPE	NOTES
001	2'-8"	4'-2"	A	EXISTING TO REMAIN - REPAINT ONLY
002	2'-8"	4'-2"	A	EXISTING TO REMAIN - REPAINT ONLY
003	2'-8"	4'-2"	A	EXISTING TO REMAIN - REPAINT ONLY
004	2'-8"	4'-2"	A	EXISTING TO REMAIN - REPAINT ONLY
005	2'-8"	4'-2"	X	EXISTING TO REMAIN - REPAINT ONLY
006	2'-8"	2'-8 1/2"	W	EXISTING TO REMAIN - REPAINT ONLY
007	2'-8"	2'-8 1/2"	W	EXISTING TO REMAIN - REPAINT ONLY
008	2'-8"	2'-8 1/2"	W	EXISTING TO REMAIN - REPAINT ONLY
009	2'-8"	2'-8 1/2"	W	EXISTING TO REMAIN - REPAINT ONLY
010	2'-8"	2'-8 1/2"	B	EXISTING TO REMAIN - REPAINT ONLY
011	2'-8"	2'-8 1/2"	B	EXISTING TO REMAIN - REPAINT ONLY
012	2'-8"	2'-8 1/2"	B	EXISTING TO REMAIN - REPAINT ONLY
013	2'-8"	2'-8 1/2"	V	EXISTING TO REMAIN - REPAINT ONLY
014	2'-8"	2'-8 1/2"	V	EXISTING TO REMAIN - REPAINT ONLY
015	2'-8"	2'-8 1/2"	B	EXISTING TO REMAIN - REPAINT ONLY
016	2'-8"	2'-8 1/2"	B	EXISTING TO REMAIN - REPAINT ONLY
017	1'-8"	2'-8 1/2"	U	EXISTING TO REMAIN - REPAINT ONLY

1ST FLOOR

NUMBER	WIDTH - VF	HEIGHT - VF	TYPE	NOTES
101	2'-8"	4'-2"	Y	DOUBLE HUNG - 12/12 LITES
102	2'-8"	4'-2"	Y	DOUBLE HUNG - 12/12 LITES
103	2'-0 1/4"	4'-11 3/4"	C	DOUBLE HUNG - 9/9 LITES
104	2'-0 1/4"	4'-11 3/4"	C	DOUBLE HUNG - 9/9 LITES
105	2'-8"	4'-2"	A	EXISTING TO REMAIN - REPAINT ONLY
106	2'-4"	1'-10"	D	EXISTING TO REMAIN - REPAINT ONLY
107	2'-0 1/4"	4'-2"	E	EXISTING TO REMAIN - REPAINT ONLY
108	2'-0 1/4"	4'-2"	E	EXISTING TO REMAIN - REPAINT ONLY
109	2'-0 1/4"	4'-2"	E	EXISTING TO REMAIN - REPAINT ONLY
110	2'-0 1/4"	4'-2"	E	EXISTING TO REMAIN - REPAINT ONLY
111	2'-0 1/4"	4'-2"	E	EXISTING TO REMAIN - REPAINT ONLY
112	2'-0 1/4"	4'-2"	E	EXISTING TO REMAIN - REPAINT ONLY
113	2'-8"	4'-2"	A	DOUBLE HUNG - 8/12 LITES
114	1'-8"	4'-2"	A	DOUBLE HUNG - 6/6 LITES
115	3'-3 3/4"	4'-11 1/2"	G	DOUBLE HUNG - 15/15 LITES
116	1'-5"	4'-11 1/2"	F	DOUBLE HUNG - 6/6 LITES
117	3'-3"	6'-11 1/2"	H	EXISTING TO REMAIN - REPAINT ONLY
118	3'-3"	6'-11 1/2"	H	EXISTING TO REMAIN - REPAINT ONLY
119	10 1/2"	6'-11"	I	EXISTING TO REMAIN - REPAINT ONLY
120	3'-6"	6'-11"	J	EXISTING TO REMAIN - REPAINT ONLY
121	10 1/2"	6'-11"	I	EXISTING TO REMAIN - REPAINT ONLY
122	1'-7 3/4"	7'-0"	K	EXISTING TO REMAIN - REPAINT ONLY
123	3'-3"	6'-11 1/2"	H	EXISTING TO REMAIN - REPAINT ONLY
124	1'-7 3/4"	7'-0"	K	EXISTING TO REMAIN - REPAINT ONLY
125	2'-8"	4'-2"	Y	EXISTING TO REMAIN - REPAINT ONLY
126	2'-8"	4'-2"	Y	EXISTING TO REMAIN - REPAINT ONLY
127	1'-7"	1'-7 3/4"	M	CASEMENT - 24 LITES - REFINISH EXISTING LEADED GLASS WINDOWS
128	1'-7"	3'-0 1/4"	L	CASEMENT - 12 LITES - REFINISH EXISTING LEADED GLASS WINDOWS
129	1'-7"	1'-7 3/4"	M	CASEMENT - 24 LITES - REFINISH EXISTING LEADED GLASS WINDOWS
130	1'-7"	3'-0 1/4"	L	CASEMENT - 12 LITES - REFINISH EXISTING LEADED GLASS WINDOWS
131	1'-7"	1'-7 3/4"	M	CASEMENT - 24 LITES - REFINISH EXISTING LEADED GLASS WINDOWS
132	1'-7"	3'-0 1/4"	L	CASEMENT - 12 LITES - REFINISH EXISTING LEADED GLASS WINDOWS
133	1'-7"	1'-7 3/4"	M	CASEMENT - 24 LITES - REFINISH EXISTING LEADED GLASS WINDOWS
134	1'-7"	3'-0 1/4"	L	CASEMENT - 12 LITES - REFINISH EXISTING LEADED GLASS WINDOWS
135	1'-7"	1'-7 3/4"	M	CASEMENT - 24 LITES - REFINISH EXISTING LEADED GLASS WINDOWS
136	1'-7"	3'-0 1/4"	L	CASEMENT - 12 LITES - REFINISH EXISTING LEADED GLASS WINDOWS
137	1'-7"	1'-7 3/4"	M	CASEMENT - 24 LITES - REFINISH EXISTING LEADED GLASS WINDOWS
138	1'-7"	3'-0 1/4"	L	CASEMENT - 12 LITES - REFINISH EXISTING LEADED GLASS WINDOWS
139	1'-7"	1'-7 3/4"	M	CASEMENT - 24 LITES - REFINISH EXISTING LEADED GLASS WINDOWS
140	1'-7"	3'-0 1/4"	L	CASEMENT - 12 LITES - REFINISH EXISTING LEADED GLASS WINDOWS
141	1'-7"	1'-7 3/4"	M	CASEMENT - 24 LITES - REFINISH EXISTING LEADED GLASS WINDOWS
142	1'-7"	3'-0 1/4"	L	CASEMENT - 12 LITES - REFINISH EXISTING LEADED GLASS WINDOWS
143	1'-7"	1'-7 3/4"	M	CASEMENT - 24 LITES - REFINISH EXISTING LEADED GLASS WINDOWS
144	1'-7"	3'-0 1/4"	L	CASEMENT - 12 LITES - REFINISH EXISTING LEADED GLASS WINDOWS

2ND FLOOR

NUMBER	WIDTH - VF	HEIGHT - VF	TYPE	NOTES
201	10 1/2"	6'-6"	N	EXISTING TO REMAIN - REPAINT ONLY
202	3'-3"	6'-6"	O	EXISTING TO REMAIN - REPAINT ONLY
203	10 1/2"	6'-6"	N	EXISTING TO REMAIN - REPAINT ONLY
204	2'-8"	4'-2"	A	DOUBLE HUNG - 8/12 LITES
205	2'-8"	4'-2"	A	DOUBLE HUNG - 8/12 LITES
206	1'-5 1/4"	4'-2"	P	DOUBLE HUNG - 4/6 LITES
207	3'-3 1/2"	4'-2"	Q	DOUBLE HUNG - 5/15 LITES
208	1'-5 1/4"	4'-2"	P	DOUBLE HUNG - 4/6 LITES
209	3'-3"	6'-6"	O	EXISTING TO REMAIN - REPAINT ONLY
210	2'-0 1/4"	4'-2"	E	DOUBLE HUNG - 6/9 LITES
211	2'-0 1/4"	4'-2"	E	DOUBLE HUNG - 6/9 LITES
212	1'-5 1/4"	4'-2"	P	DOUBLE HUNG - 4/6 LITES
213	2'-8"	4'-2"	A	DOUBLE HUNG - 8/12 LITES
214	2'-8"	4'-2"	A	DOUBLE HUNG - 8/12 LITES
215	2'-0 1/4"	4'-11 3/4"	Z	DOUBLE HUNG - 6/9 LITES
216	2'-0 1/4"	4'-11 3/4"	Z	DOUBLE HUNG - 6/9 LITES
217	2'-8"	4'-2"	A	DOUBLE HUNG - 8/12 LITES
218	2'-8"	4'-2"	A	DOUBLE HUNG - 8/12 LITES
219	2'-8"	4'-2"	A	DOUBLE HUNG - 8/12 LITES
220	1'-5 1/4"	4'-2"	P	DOUBLE HUNG - 4/6 LITES
221	3'-3 1/2"	4'-2"	Q	DOUBLE HUNG - 5/15 LITES
222	1'-5 1/4"	4'-2"	P	DOUBLE HUNG - 4/6 LITES
223	1'-8"	4'-2"	R	DOUBLE HUNG - 4/6 LITES
224	2'-0 1/4"	4'-2"	E	DOUBLE HUNG - 6/9 LITES
225	2'-8"	4'-2"	A	DOUBLE HUNG - 8/12 LITES
226	1'-8 1/4"	4'-2"	P	DOUBLE HUNG - 4/6 LITES
227	3'-3 1/2"	4'-2"	Q	DOUBLE HUNG - 5/15 LITES
228	1'-5 1/4"	4'-2"	P	DOUBLE HUNG - 4/6 LITES

3RD FLOOR

NUMBER	WIDTH - VF	HEIGHT - VF	TYPE	NOTES
301	4'-3"	2'-8 1/2"	S	FRENCH CASEMENT - 16 LITES
302	2'-10"	2'-8 1/2"	T	FRENCH CASEMENT - 12 LITES
303	2'-10"	2'-8 1/2"	T	FRENCH CASEMENT - 12 LITES
304	2'-10"	2'-8 1/2"	T	FRENCH CASEMENT - 12 LITES
305	2'-10"	2'-8 1/2"	T	FRENCH CASEMENT - 12 LITES
306	2'-10"	2'-8 1/2"	T	FRENCH CASEMENT - 12 LITES
307	2'-10"	2'-8 1/2"	T	FRENCH CASEMENT - 12 LITES
308	2'-10"	2'-8 1/2"	T	FRENCH CASEMENT - 12 LITES
309	2'-10"	2'-8 1/2"	T	FRENCH CASEMENT - 12 LITES
310	2'-10"	2'-8 1/2"	T	FRENCH CASEMENT - 12 LITES
311	2'-10"	2'-8 1/2"	T	FRENCH CASEMENT - 12 LITES
312	2'-10"	2'-8 1/2"	T	FRENCH CASEMENT - 12 LITES

GENERAL NOTES

- WINDOWS TO BE MARVIN WOOD ULTIMATE REPLACEMENT WINDOWS
- CONTRACTOR TO VERIFY ALL WINDOW OPENING DIMENSIONS

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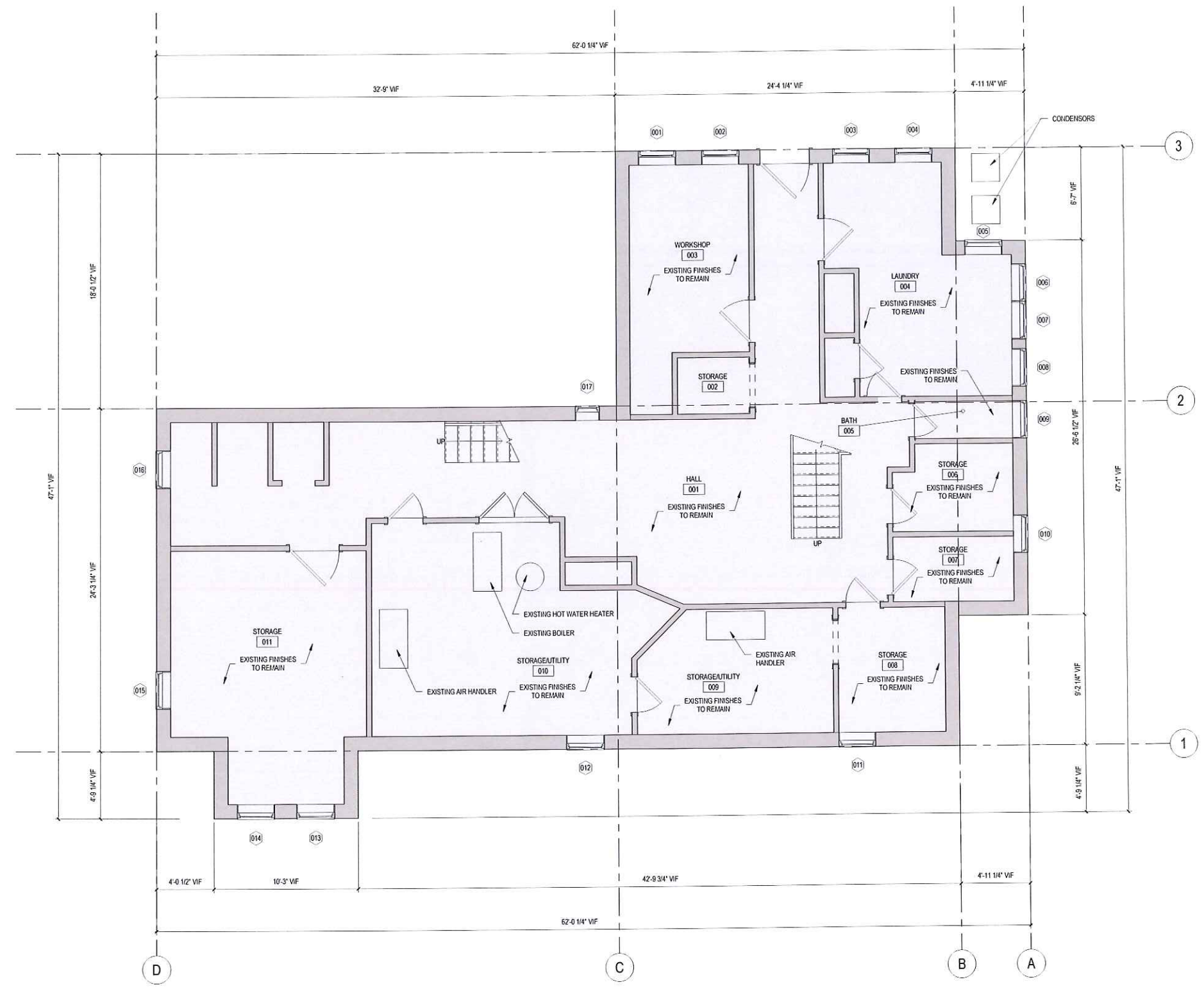
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GENERAL FLOOR PLAN NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW EXISTING AND PROPOSED DIMENSIONS AND ALIGNMENTS AND CONFIRM LOCATIONS AND ALIGNMENTS SHOWN CAN BE ACHIEVED. DISCREPANCIES BETWEEN PROPOSED ALIGNMENTS AND LOCATIONS AND EXISTING CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION OF THE WORK.
2. AS-BUILT DIMENSIONS AND EXISTING CONDITIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION OF CASEWORK, FIXTURES, FURNISHINGS AND EQUIPMENT TO CONFIRM FIT AND LOCATIONS AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT. DISCREPANCIES MUST BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO ORDERING OR FABRICATING.
3. GRID AND GRID DIMENSIONS ARE TO FACE OF FOUNDATION, EXTERIOR FACE OF FRAMING OR AS NOTED.

WALL KEY

-  EXISTING TO REMAIN
-  NEW INTERIOR PARTITION
-  NEW INSULATED INTERIOR FURRING WALL
-  NEW EXTERIOR WALL
-  NEW CONCRETE FOUNDATION WALL



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BASEMENT FLOOR PLAN

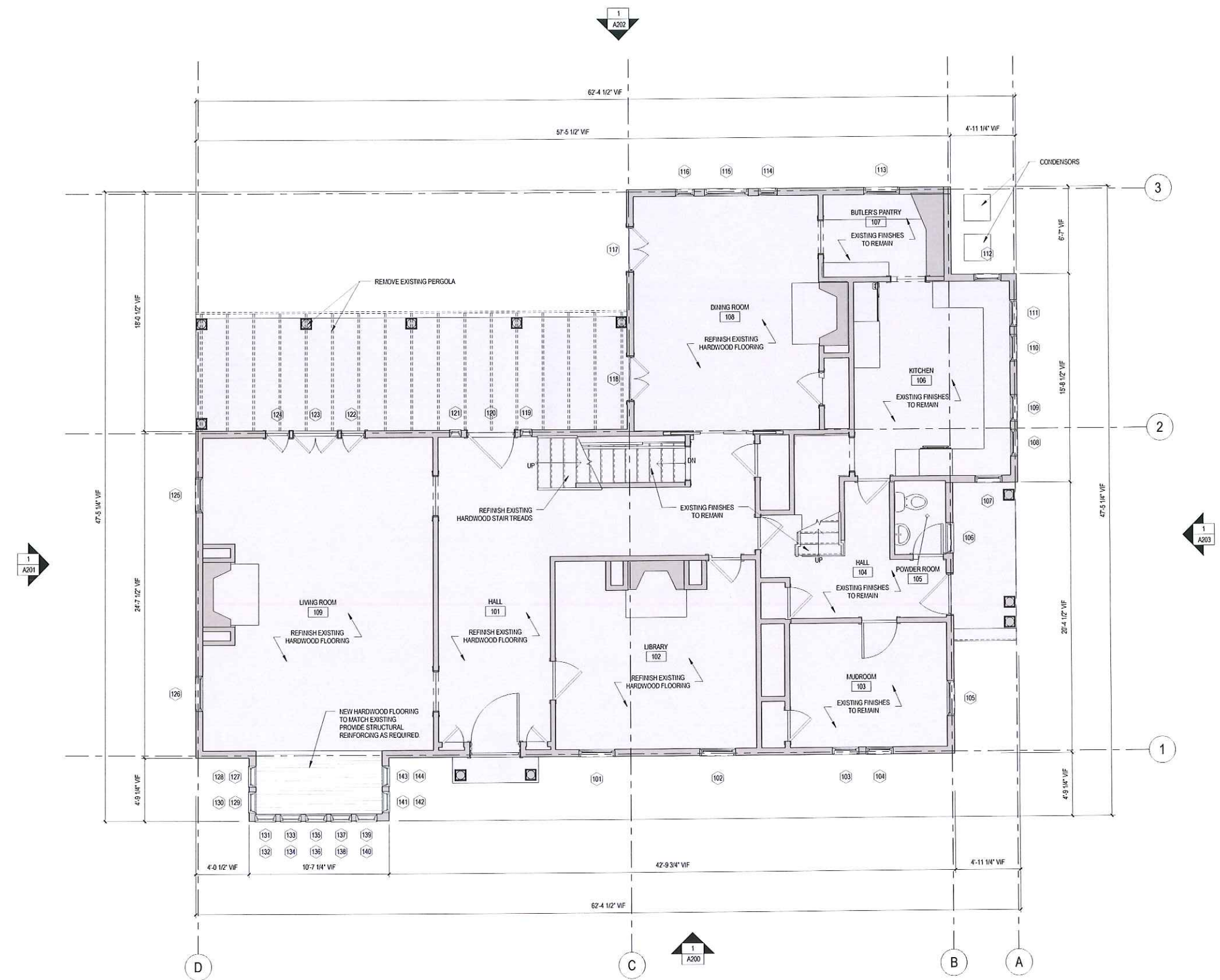
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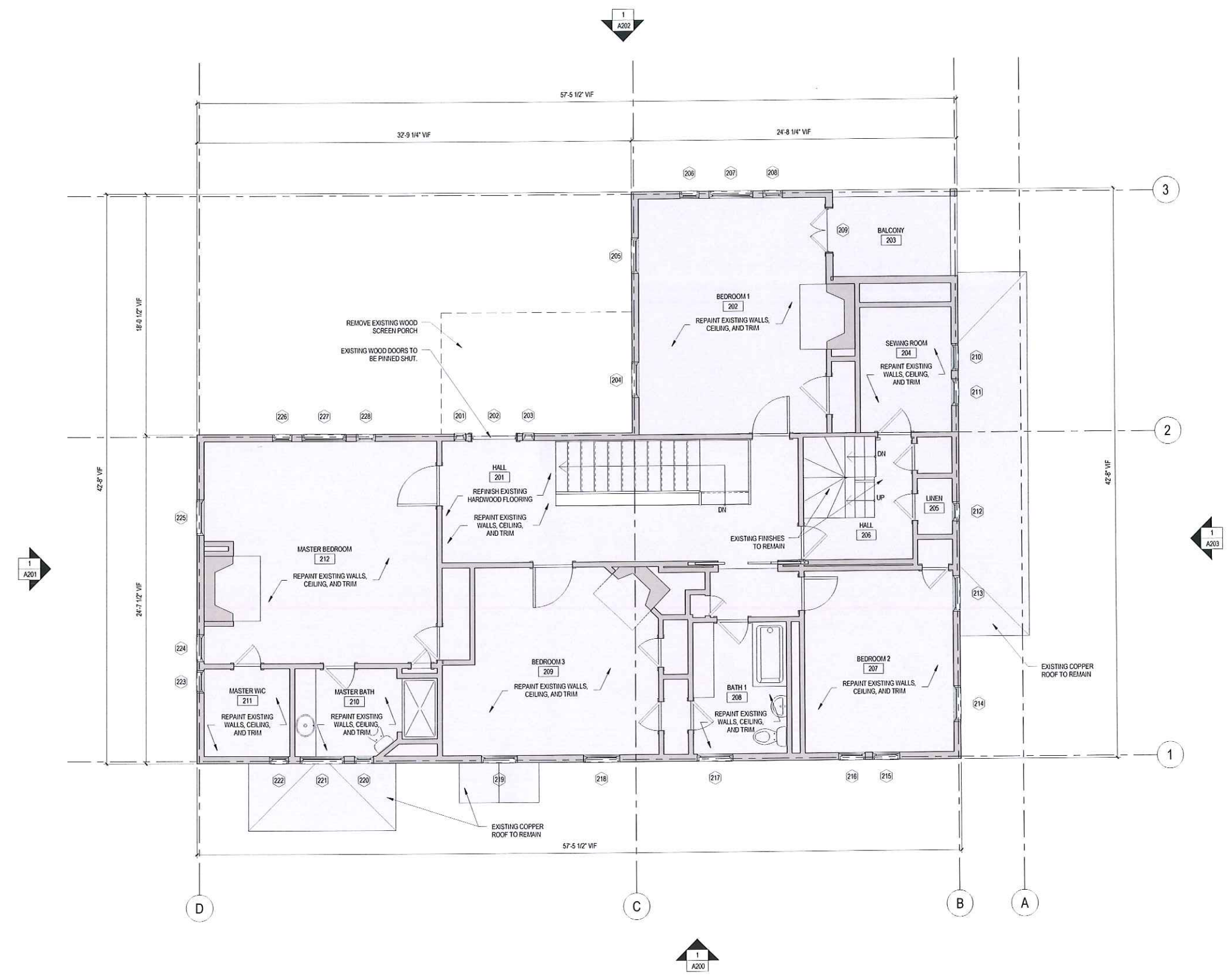
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1ST FLOOR PLAN

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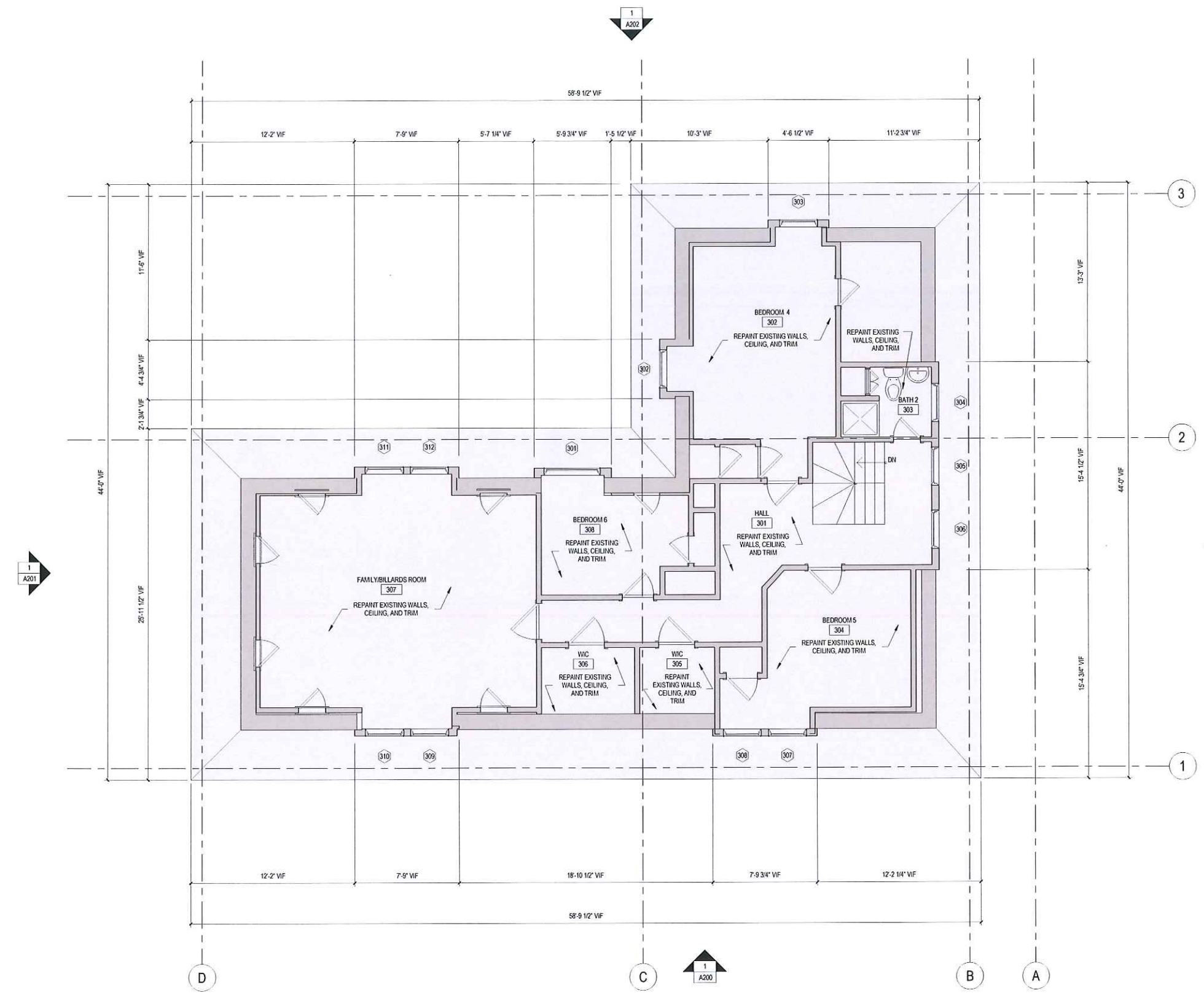
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2ND FLOOR PLAN

GENERAL FLOOR PLAN NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW EXISTING AND PROPOSED DIMENSIONS AND ALIGNMENTS AND CONFIRM LOCATIONS AND ALIGNMENTS SHOWN CAN BE ACHIEVED. DISCREPANCIES BETWEEN PROPOSED ALIGNMENTS AND LOCATIONS AND EXISTING CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION OF THE WORK.
2. AS-BUILT DIMENSIONS AND EXISTING CONDITIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION OF CASEWORK, FIXTURES, FURNISHINGS AND EQUIPMENT TO CONFIRM FIT AND LOCATIONS AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT. DISCREPANCIES MUST BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO ORDERING OR FABRICATING.
3. GRID AND GRID DIMENSIONS ARE TO FACE OF FOUNDATION, EXTERIOR FACE OF FRAMING OR AS NOTED.

WALL KEY

-  EXISTING TO REMAIN
-  NEW INTERIOR PARTITION
-  NEW INSULATED INTERIOR FURRING WALL
-  NEW EXTERIOR WALL
-  NEW CONCRETE FOUNDATION WALL



STERNER RESIDENCE
Project Number

43 RESERVOIR STREET
CAMBRIDGE, MA

LDA Architecture & Interiors, LLP
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DATE: 08/15/16
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3RD FLOOR PLAN

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REVISION:

DATE: 06/15/16
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SHEET INFO:
EXISTING EXTERIOR ELEVATION - EAST (FRONT)



3 EAST (FRONT) ELEVATION
SCALE: 1/2" = 1'-0"

- PATCH AND REPAINT EXISTING CLAPBOARD SIDING, TYP. THROUGHOUT.
- EXISTING BRICK CHIMNEYS TO REMAIN, TYP.
- STRIP AND PAINT EXISTING TRIM, COLUMNS, AND PANELING @ FRONT ENTRY.
- EXISTING COPPER ROOFING AND FLASHING TO REMAIN, TYP.
- REFURBISH AND RECONDITION EXISTING FRONT DOOR.
- PATCH AND REPAINT EXISTING TRIM, TYP. THROUGHOUT.

- PROVIDE NEW SLATE ROOF TO MATCH EXISTING GARAGE.
- EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REMOVE AND REINSTALL FOR PAINTING.
- NEW PAINTED WOOD DENTIL TRIM TO MATCH EXISTING, TYP. THROUGHOUT.
- PATCH AND REPAINT EXISTING WOOD SOFFITS AS REQUIRED, TYP. THROUGHOUT.
- PROVIDE NEW PAINTED WOOD SHUTTERS @ EAST AND SOUTH ELEVATIONS, TYP.
- NEW WOOD REPLACEMENT WINDOWS MATCH EXISTING.
- PATCH AND REPAINT EXISTING WINDOW TRIM, TYP. THROUGHOUT.
- PATCH AND REPAINT EXISTING STUCCO AS REQUIRED, TYP. THROUGHOUT.

- PATCH AND REPAINT EXISTING CLAPBOARD SIDING, TYP. THROUGHOUT.
- EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REMOVE AND REINSTALL FOR PAINTING.
- PROVIDE NEW SLATE ROOF TO MATCH EXISTING GARAGE.
- EXISTING COPPER ROOFING AND FLASHING TO REMAIN, TYP.
- REFURBISH EXISTING LEADED GLASS WINDOWS @ BAY AND INSTALL NEW PAINTED WOOD STORM WINDOWS.



2 EAST (FRONT) ELEVATION
SCALE: 1/2" = 1'-0"

- NEW PAINTED WOOD DENTIL TRIM TO MATCH EXISTING, TYP. THROUGHOUT.
- PATCH AND REPAINT EXISTING WOOD SOFFITS AS REQUIRED, TYP. THROUGHOUT.
- PROVIDE NEW PAINTED WOOD SHUTTERS @ EAST AND SOUTH ELEVATIONS, TYP.
- NEW WOOD REPLACEMENT WINDOWS MATCH EXISTING.
- PATCH AND REPAINT EXISTING WINDOW TRIM, TYP. THROUGHOUT.
- EXISTING COPPER ROOFING AND FLASHING TO REMAIN, TYP.
- STRIP AND PAINT EXISTING TRIM, COLUMNS, AND PANELING @ FRONT ENTRY.
- REFURBISH AND RECONDITION EXISTING FRONT DOOR.
- PATCH AND REPAINT EXISTING STUCCO AS REQUIRED, TYP. THROUGHOUT.



1 EAST (FRONT) ELEVATION
SCALE: 1/2" = 1'-0"

- PATCH AND REPAINT EXISTING CLAPBOARD SIDING, TYP. THROUGHOUT.
- PROVIDE NEW SLATE ROOF TO MATCH EXISTING GARAGE.
- EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REMOVE AND REINSTALL FOR PAINTING.
- NEW PAINTED WOOD DENTIL TRIM TO MATCH EXISTING, TYP. THROUGHOUT.
- PROVIDE NEW PAINTED WOOD SHUTTERS @ EAST AND SOUTH ELEVATIONS, TYP.
- PATCH AND REPAINT EXISTING WOOD SOFFITS AS REQUIRED, TYP. THROUGHOUT.
- PATCH AND REPAINT EXISTING STUCCO AS REQUIRED, TYP. THROUGHOUT.
- NEW WOOD REPLACEMENT WINDOWS MATCH EXISTING.
- PATCH AND REPAINT EXISTING WINDOW TRIM, TYP. THROUGHOUT.

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SHEET INFO:
EXISTING EXTERIOR ELEVATION -
SOUTH (SIDE)

A201



PROVIDE NEW SLATE ROOF TO MATCH EXISTING GARAGE.

EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REMOVE AND REINSTALL FOR PAINTING.

NEW PAINTED WOOD DENTIL TRIM TO MATCH EXISTING, TYP. THROUGHOUT.

PATCH AND REPAIR EXISTING WOOD SOFFITS AS REQUIRED, TYP. THROUGHOUT.

PROVIDE NEW PAINTED WOOD SHUTTERS @ EAST AND SOUTH ELEVATIONS, TYP.

PATCH AND REPAIR EXISTING WINDOW TRIM, TYP. THROUGHOUT.

NEW WOOD REPLACEMENT WINDOWS MATCH EXISTING.

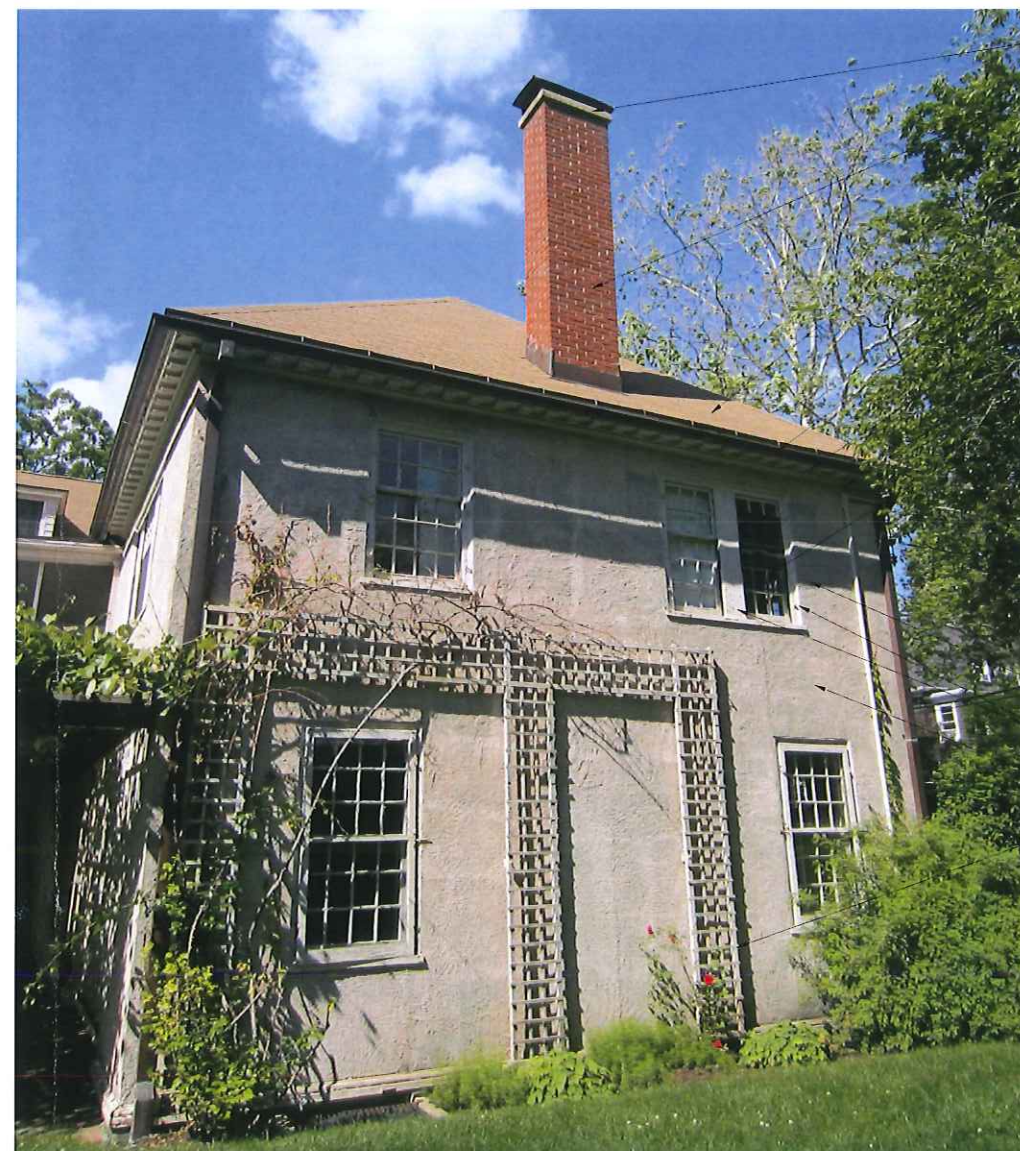
REMOVE EXISTING WOOD SCREEN PORCH. PATCH AND REPAIR EXISTING STUCCO AS REQUIRED.

REMOVE EXISTING WOOD LATTICE

PATCH AND REPAIR EXISTING STUCCO AS REQUIRED, TYP. THROUGHOUT.

REMOVE EXISTING WOOD PERGOLA AND COLUMNS

PATCH AND REPAIR EXISTING WOOD WATERTABLE TRIM, TYP. THROUGHOUT.



EXISTING CHIMNEY CAP TO REMAIN, TYP.

EXISTING BRICK CHIMNEYS TO REMAIN, TYP.

PROVIDE NEW SLATE ROOF TO MATCH EXISTING GARAGE

EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REMOVE AND REINSTALL FOR PAINTING.

NEW PAINTED WOOD DENTIL TRIM TO MATCH EXISTING, TYP. THROUGHOUT.

PATCH AND REPAIR EXISTING WOOD SOFFITS AS REQUIRED, TYP. THROUGHOUT.

NEW WOOD REPLACEMENT WINDOWS MATCH EXISTING.

PROVIDE NEW PAINTED WOOD SHUTTERS @ EAST AND SOUTH ELEVATIONS, TYP.

PATCH AND REPAIR EXISTING WINDOW TRIM, TYP. THROUGHOUT.

PATCH AND REPAIR EXISTING STUCCO AS REQUIRED, TYP. THROUGHOUT.

REMOVE EXISTING WOOD LATTICE

2 SOUTH (SIDE) ELEVATION
SCALE: 1/2" = 1'-0"

1 SOUTH (SIDE) ELEVATION
SCALE: 1/2" = 1'-0"



NEW PAINTED WOOD DENTIL TRIM TO MATCH EXISTING, TYP. THROUGHOUT.
 PATCH AND REPAIR EXISTING WOOD SOFFITS AS REQUIRED, TYP. THROUGHOUT.
 NEW WOOD REPLACEMENT WINDOWS MATCH EXISTING.
 PATCH AND REPAIR EXISTING WINDOW TRIM, TYP. THROUGHOUT.
 PATCH AND REPAIR WOOD TRIM, TYP. THROUGHOUT.
 PATCH AND REPAIR EXISTING STUCCO AS REQUIRED, TYP. THROUGHOUT.
 EXISTING WOOD FENCE TO REMAIN

PATCH AND REPAIR EXISTING CLAPBOARD SIDING, TYP. THROUGHOUT.
 REMOVE EXISTING WOOD SCREEN PORCH. PATCH AND REPAIR EXISTING STUCCO AS REQUIRED.
 PROVIDE NEW SLATE ROOF TO MATCH EXISTING GARAGE.
 EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REMOVE AND REINSTALL FOR PAINTING.
 NEW WOOD REPLACEMENT WINDOWS MATCH EXISTING.
 REMOVE EXISTING WOOD PERGOLA AND COLUMNS.

1 WEST (REAR) ELEVATION
SCALE: 1/2" = 1'-0"

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SHEET INFO:
EXISTING EXTERIOR ELEVATION - WEST (REAR)

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SHEET INFO:
EXISTING EXTERIOR ELEVATION -
NORTH (SIDE)



2 NORTH (SIDE) ELEVATION
SCALE: 1/2" = 1'-0"

EXISTING METAL RAILING TO REMAIN.
EXISTING BRICK WALKWAY TO REMAIN.
EXISTING WINDOW GRATES TO REMAIN.

PATCH AND REPAIR EXISTING WOOD TRIM, TYP. THROUGHOUT.
PATCH AND REPAIR EXISTING CLAPBOARD SIDING, TYP. THROUGHOUT.
EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REMOVE AND REINSTALL FOR PAINTING.

NEW PAINTED WOOD DENTIL TRIM TO MATCH EXISTING, TYP. THROUGHOUT.
PATCH AND REPAIR EXISTING WOOD SOFFITS AS REQUIRED, TYP. THROUGHOUT.
PATCH AND REPAIR EXISTING WOOD TRIM, TYP. THROUGHOUT.
NEW WOOD REPLACEMENT WINDOWS MATCH EXISTING.
PATCH AND REPAIR EXISTING STUCCO AS REQUIRED, TYP. THROUGHOUT.
PATCH AND REPAIR EXISTING WOOD COLUMNS, RAILING, AND WATERTABLE, TYP. THROUGHOUT.



1 NORTH (SIDE) ELEVATION
SCALE: 1/2" = 1'-0"

PATCH AND REPAIR EXISTING CLAPBOARD SIDING, TYP. THROUGHOUT.
EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REMOVE AND REINSTALL FOR PAINTING.
NEW PAINTED WOOD DENTIL TRIM TO MATCH EXISTING, TYP. THROUGHOUT.
PATCH AND REPAIR EXISTING WOOD SOFFITS AS REQUIRED, TYP. THROUGHOUT.
PATCH AND REPAIR EXISTING WOOD TRIM, TYP. THROUGHOUT.
PATCH AND REPAIR EXISTING WOOD TRIM, TYP. THROUGHOUT.
PATCH AND REPAIR EXISTING WOOD WINDOWS @ KITCHEN, TYP.

PATCH AND REPAIR EXISTING STUCCO AS REQUIRED, TYP. THROUGHOUT.
PATCH AND REPAIR EXISTING WOOD COLUMNS, RAILING, AND WATERTABLE, TYP. THROUGHOUT.

PATCH AND REPAIR EXISTING WOOD TRIM, TYP. THROUGHOUT.
REPOINT EXISTING STONE FOUNDATION AS REQUIRED.
REPAIR EXISTING BASEMENT WINDOWS, TYP.
EXISTING BASEMENT WINDOWS TO REMAIN, TYP.