

# SUMMARY OF ALTERATIONS

## SITE WORK

- New pad-mounted transformer at the southeast corner of the 112 Pacific Street property. See site plan for location.
- Repave and repaint asphalt for parking along Pacific Street.

## OPENINGS

- New aluminum steel replica divided lite windows within existing masonry openings, in keeping with the original 1920 factory building and associated sheds. Trim and muntins will be painted black. These windows will be fixed, with the exception of the two factory windows on the north facade of the building, facing Pacific Street, which will have operable vents.
- New aluminum storefront windows along Brookline Street, in keeping with the 1950 addition by William Galvin.
- In kind replacement of aluminum windows at the second floor along Brookline Street.
- New frameless full-glass entry door within existing overhead door opening at the corner of Pacific Street.
- New aluminum storefront entry door in original entryway at southwest end of Brookline Street facade.
- New exterior cladding and aluminum windows at existing CMU walls facing Tudor Street and Sydney Street.
- Replacement of glass block on Tudor Street side with brick masonry to facilitate fire-rated enclosure for exit discharge.

## EXTERIOR MATERIALS

- Cleaning, repointing, and replacement of brick masonry as necessary for restoration. Painted brick will be scraped of paint and clear sealed if necessary.
- CMU walls at Sydney Street and Tudor Street will be replaced by insulated metal stud wall construction clad with standing seam zinc coated metal panels. These panels will be graphite in color and connected by a natural copper standing seam cap. Three panel widths will be arranged randomly to create a textured surface. See elevations.
- There are no plans for the CMU wall facing Pacific Street at this time.
- Gray fiber cement panels affixed to CMU facing Brookline Street at new mid-level roof terrace.
- Occupiable mid-level roof terrace with wood deck and green roof.

## SIGNAGE

- Preservation and restoration of projecting building signage.

## DEMOLITION

- All existing buildings at 112 Pacific Street will remain, except for limited demolition as required to accommodate new code required exit egress from 116 Brookline Street.

# SUMMARY OF CHARACTER-DEFINING FEATURES

The building now known as the EMF building comprises a 1920 masonry factory building and storage sheds, a 1950 storefront addition, a 1950's two-story warehouse addition, and the masonry shed of the Metropolitan Ice company. Below is a summary of character-defining exterior features of the building.

Existing Building Exterior Features	Existing Condition	Proposed Treatment
Frontage on Brookline Street	Existing storefront windows covered with hardboard and painted; Remaining storefront openings infilled with brick and painted	Restore continuous storefront windows for entire length of Brookline street frontage. All brick masonry to be scraped of paint.
Projecting Signage	Projecting signage in need of repair	Projecting signage to be removed and protected during construction for reinstallation with new supports.
Two-story CMU warehouse addition facing Sydney Street, and Tudor Street	Poor condition, extensive rust staining and cracking originating at ad hoc air conditioner installations	Replace CMU walls facing Sydney Street and Tudor Street with new, metal-clad walls with punched windows.
Painted Mural	Fair condition	There are currently no proposed plans for the north facade of the CMU wall.
Exterior Masonry	Poor to fair condition. Rust jacking at lintels, extensive mortar cracking, spray paint in multiple areas	Exterior masonry will be cleaned, scraped of paint, repointed or rebuilt as necessary.
Former Metropolitan Ice Company Masonry Shed	Poor condition	There are currently no alterations proposed at this time.



# WINDOWS

## Restoring the Brookline Storefront

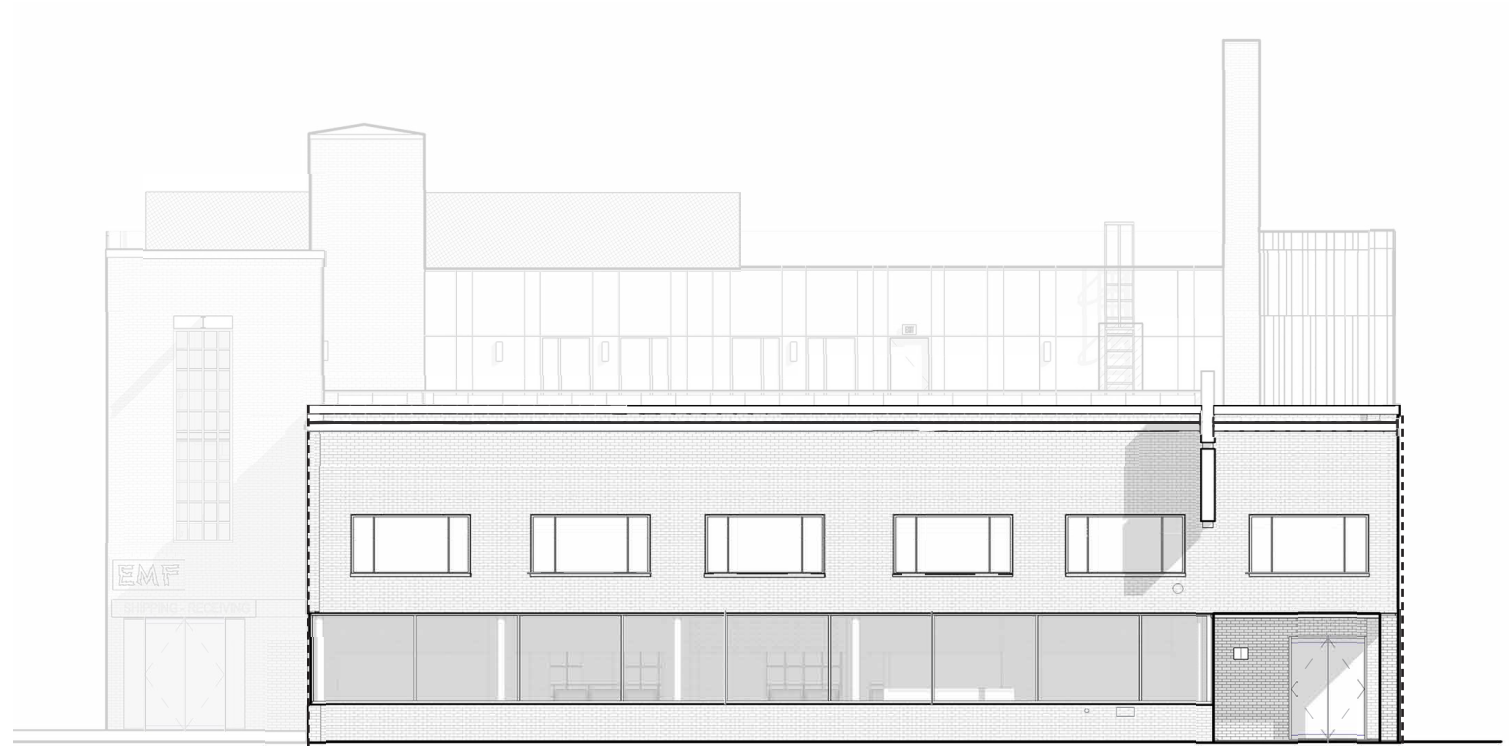
Along the sidewalk at Brookline Street, storefront windows will be re-opened at street level in keeping with the design intent of the 1950 addition.



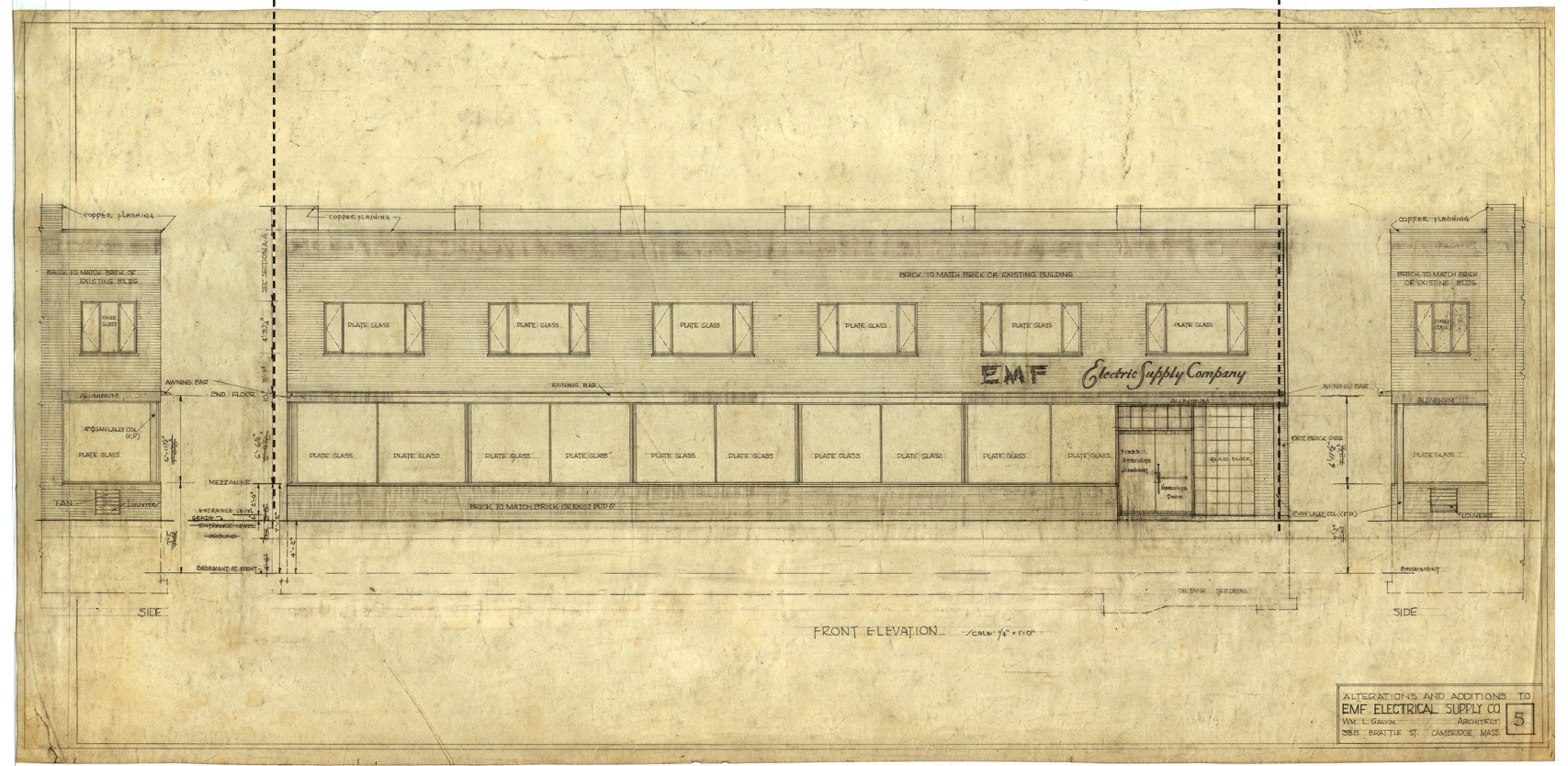
EXISTING CONDITION



116 BROOKLINE STREET, 1970  
CAMBRIDGE HISTORICAL COMMISSION



BROOKLINE STREET



ALTERATIONS AND ADDITIONS TO EMF ELECTRICAL SUPPLY CO. CA. 1950, WILLIAM L. GALVIN  
CAMBRIDGE HISTORICAL COMMISSION

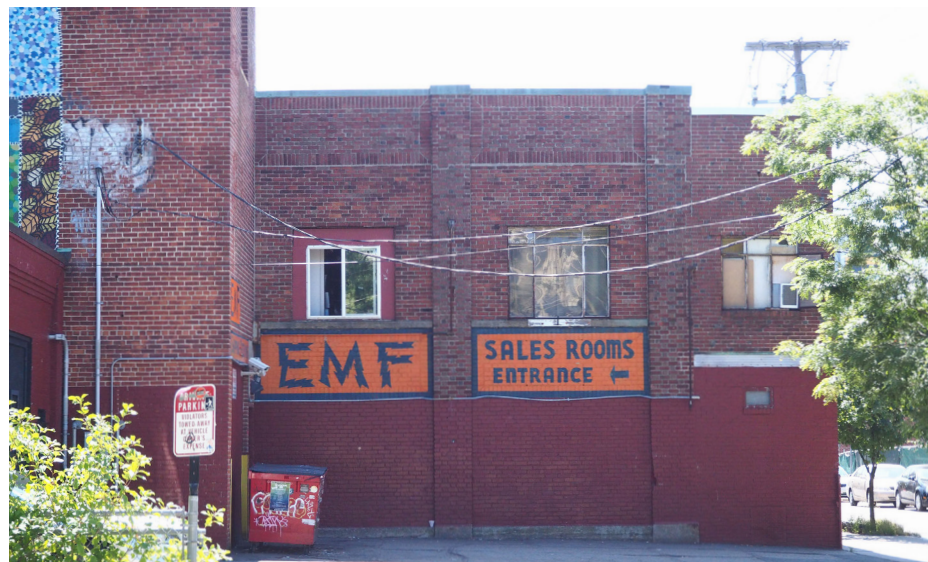
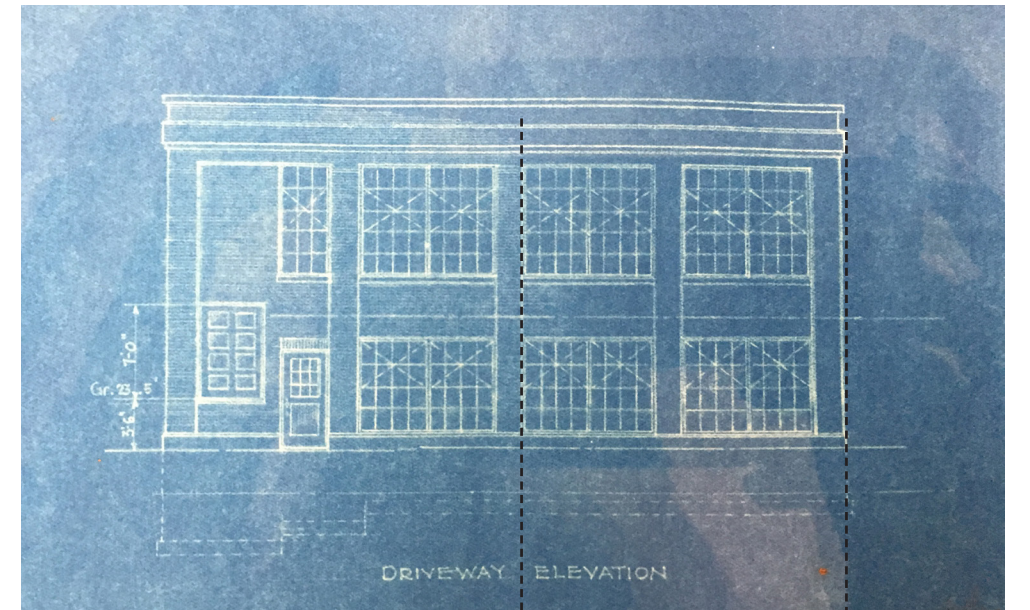
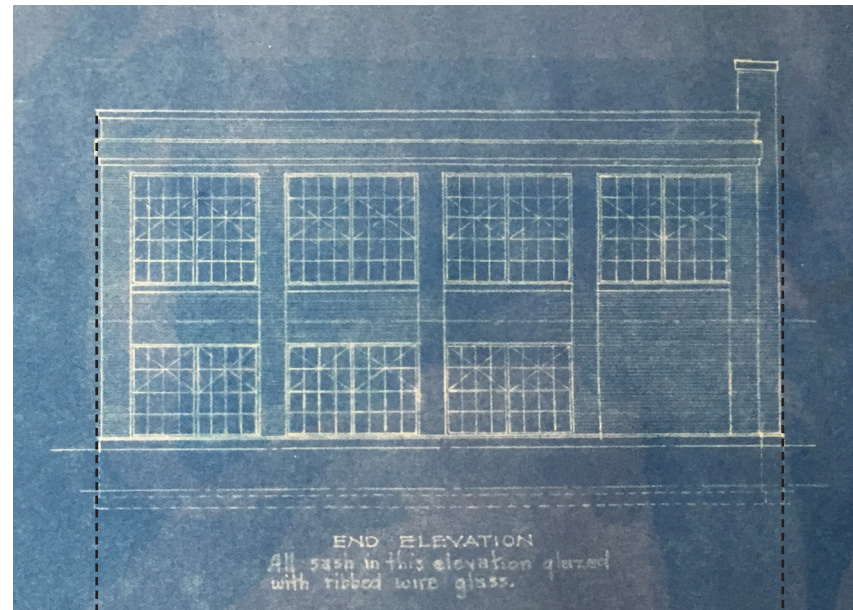


# WINDOWS

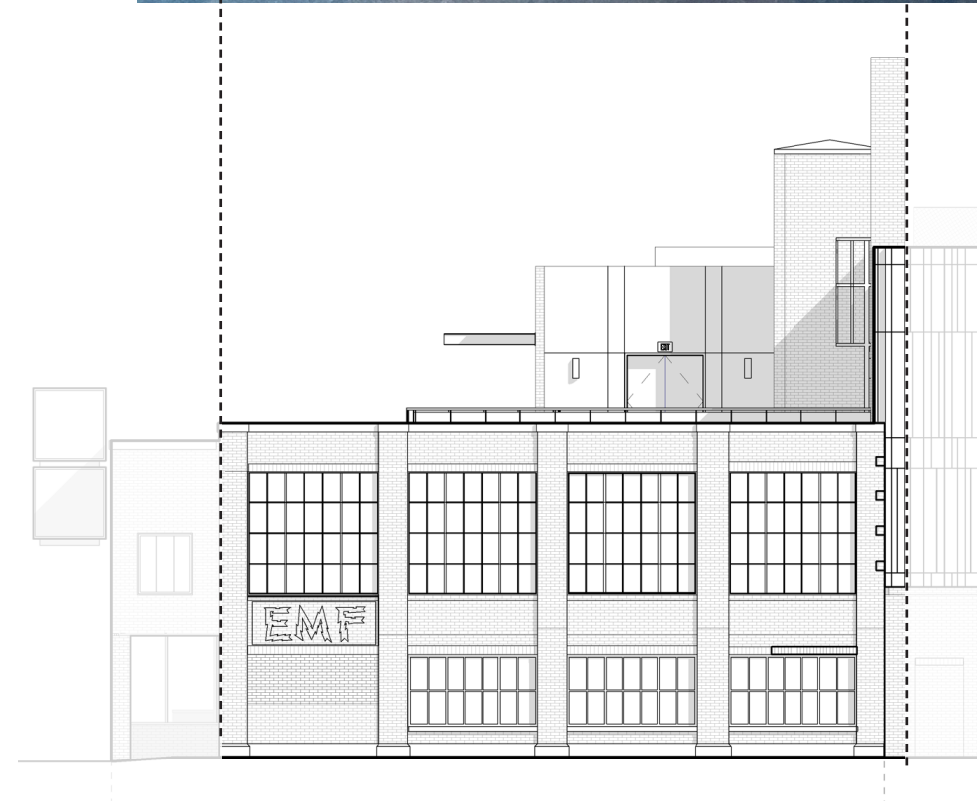
Restoring factory facades

Where visible, the original factory's masonry openings will be reopened and installed with divided lite, aluminum replicas of steel windows.

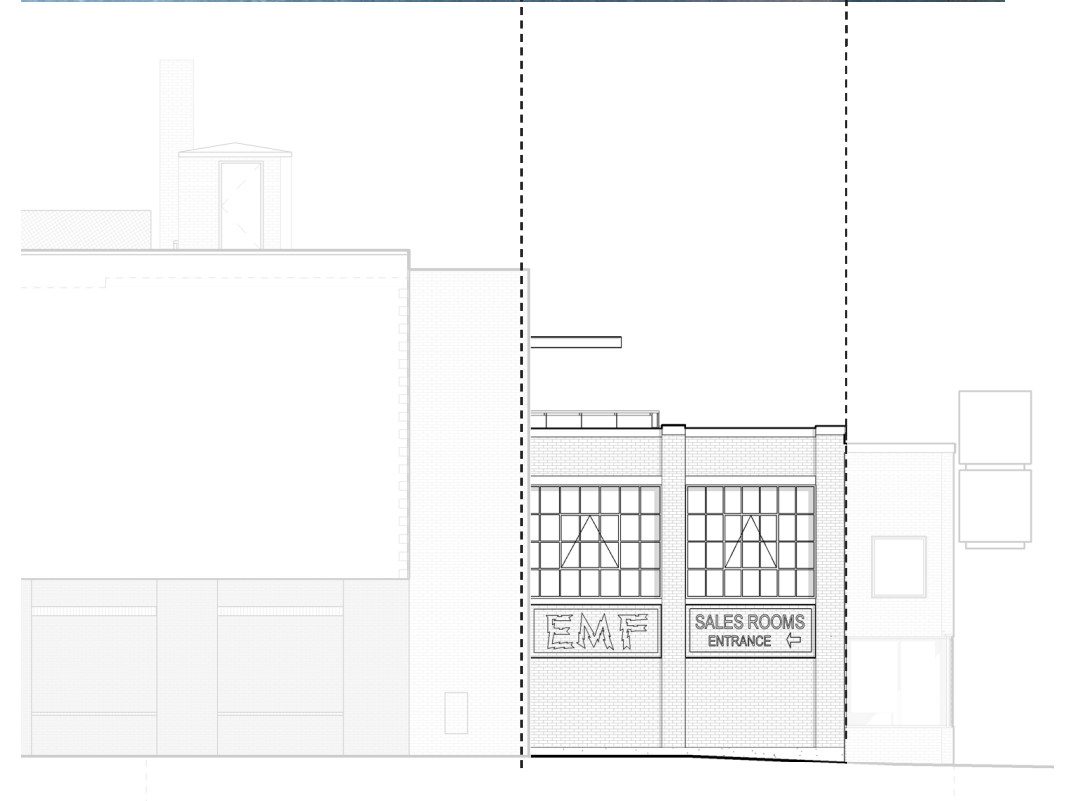
NATIONAL COMPANY FACTORY #1, 1920  
MASSACHUSETTS STATE ARCHIVE



EXISTING CONDITIONS



TUDOR STREET



PACIFIC STREET



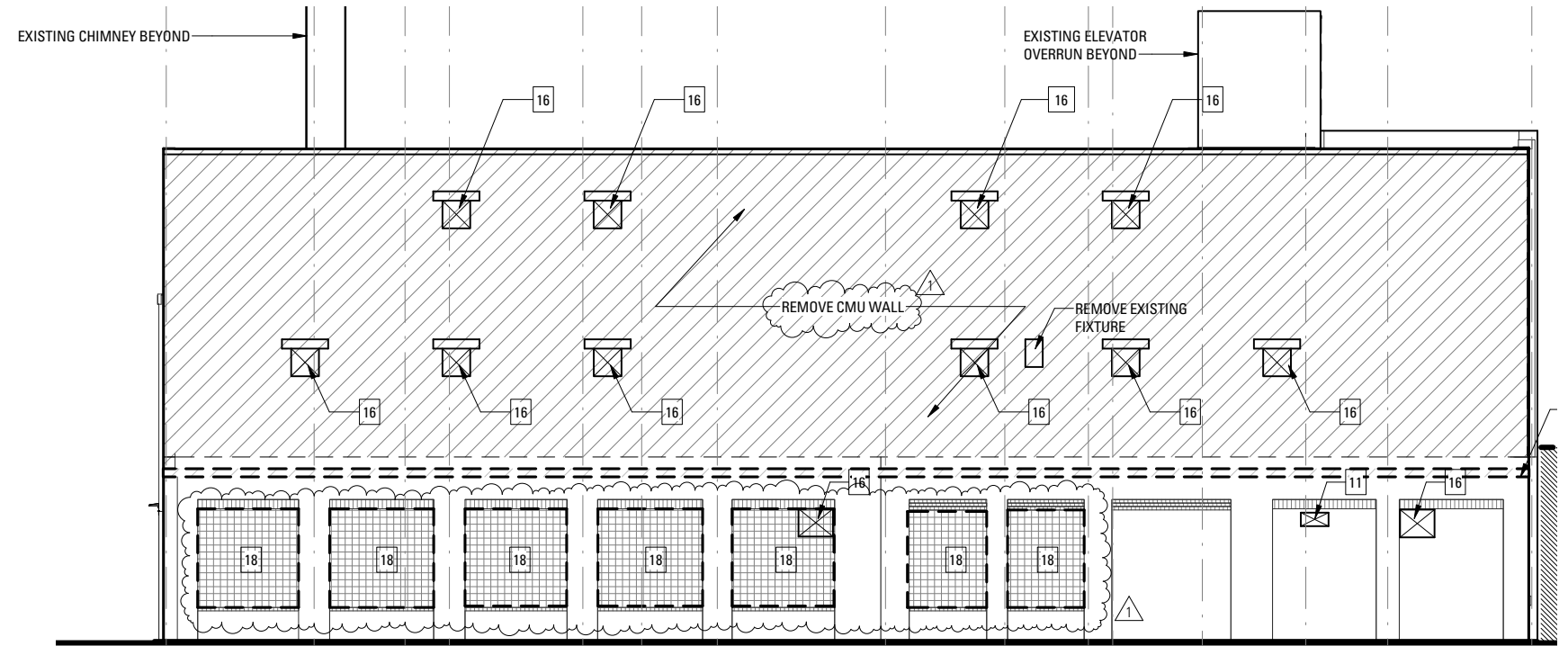
# WINDOWS

## Replacing the CMU walls

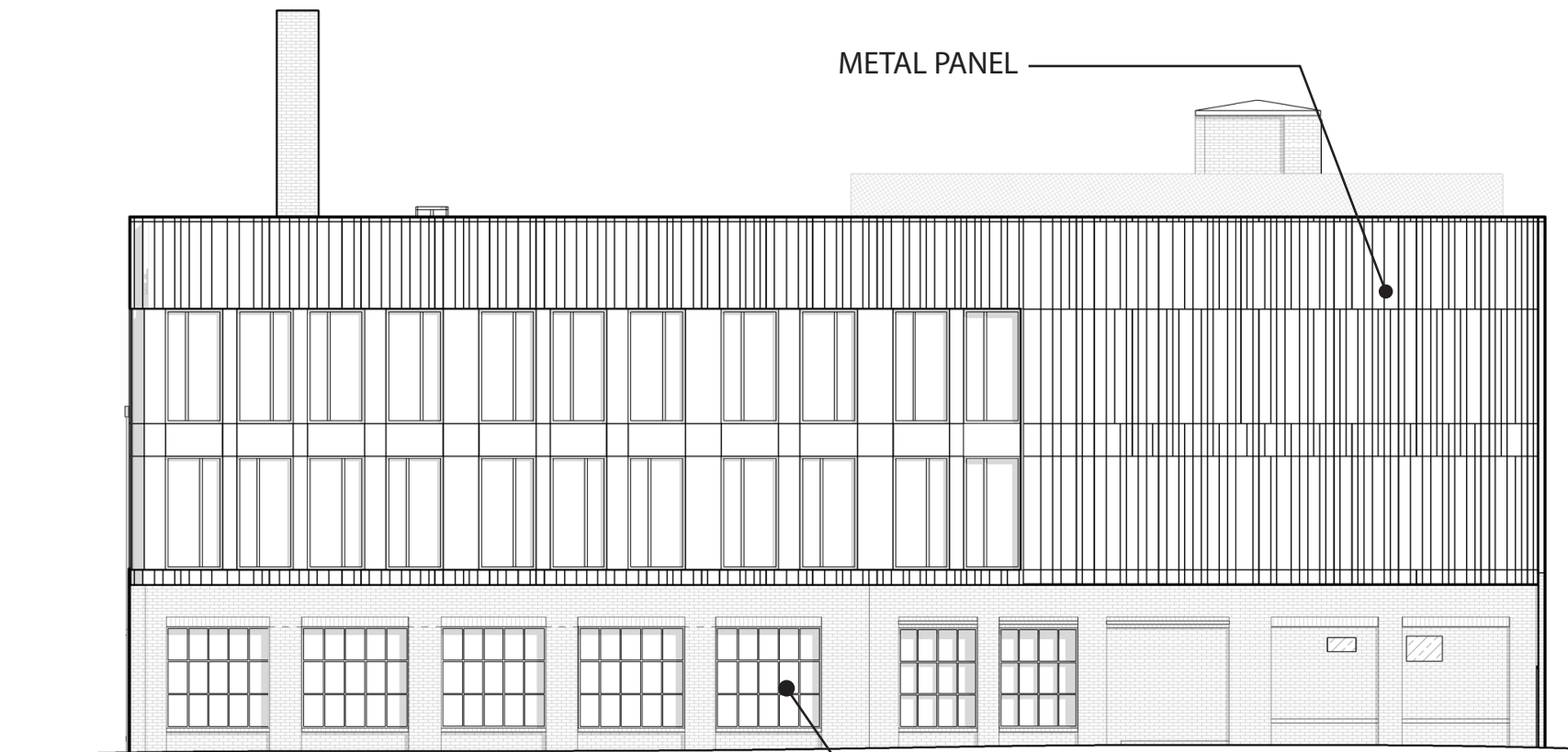
Around 1950, a two-story CMU addition was added onto the one-story masonry sheds behind the original factory building. The CMU wall facing Tudor Street and Sydney Street will be replaced with insulated metal stud wall construction with standing seam metal panel cladding with windows installed.



PHOTO OF EXISTING SYDNEY STREET ELEVATION



SIDNEY STREET ELEVATION - EXISTING



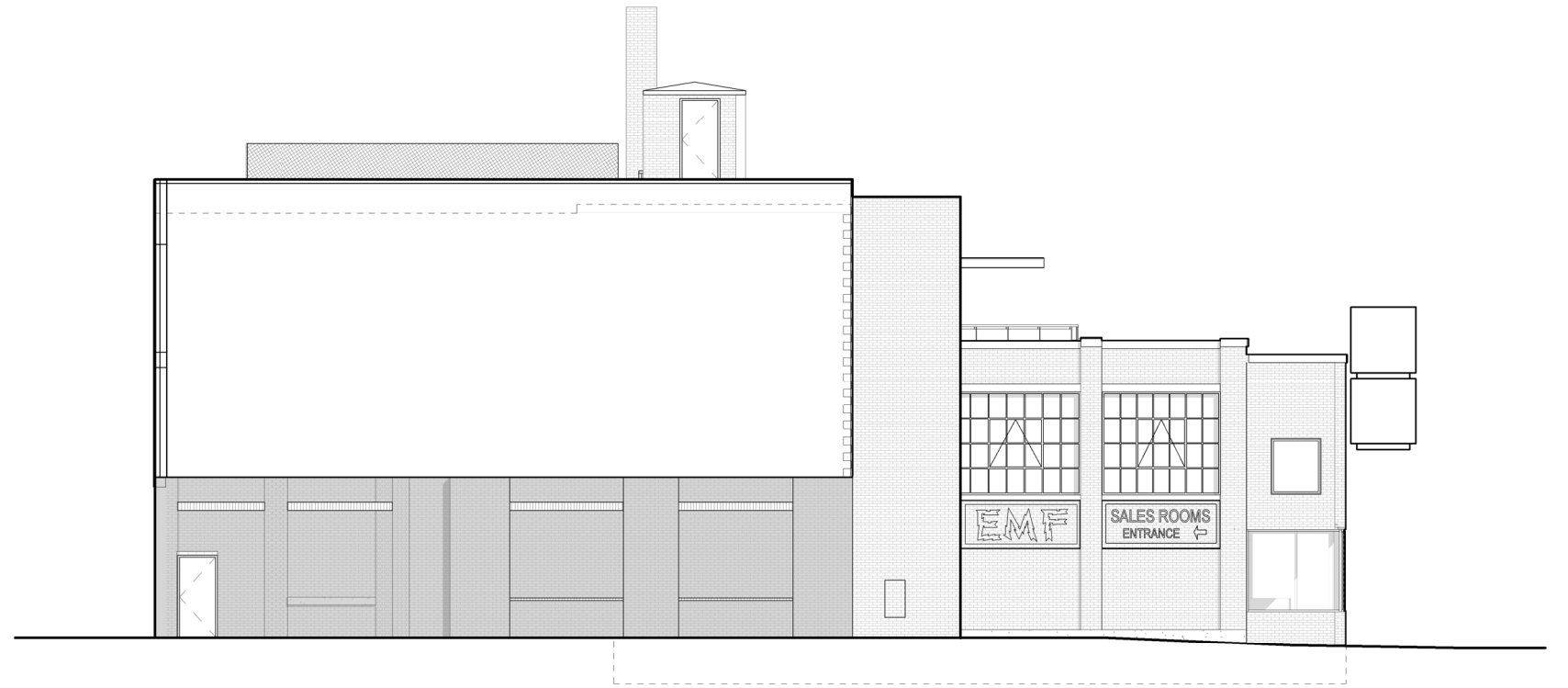
SIDNEY STREET ELEVATION - PROPOSED

ALUM. REPLICA WINDOWS



# NORTH FACADE

The North elevation of the building currently contains a mural. There are currently no proposed plans for north facing CMU facade.

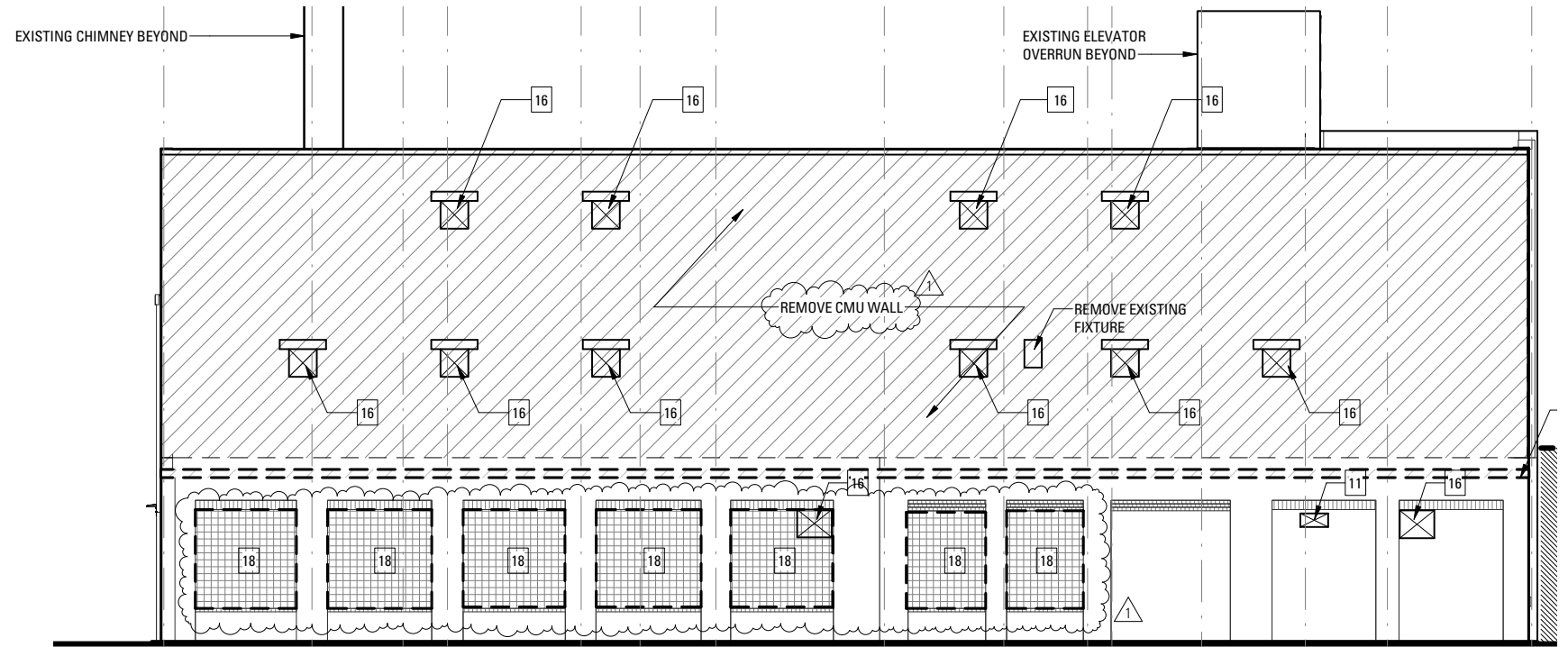




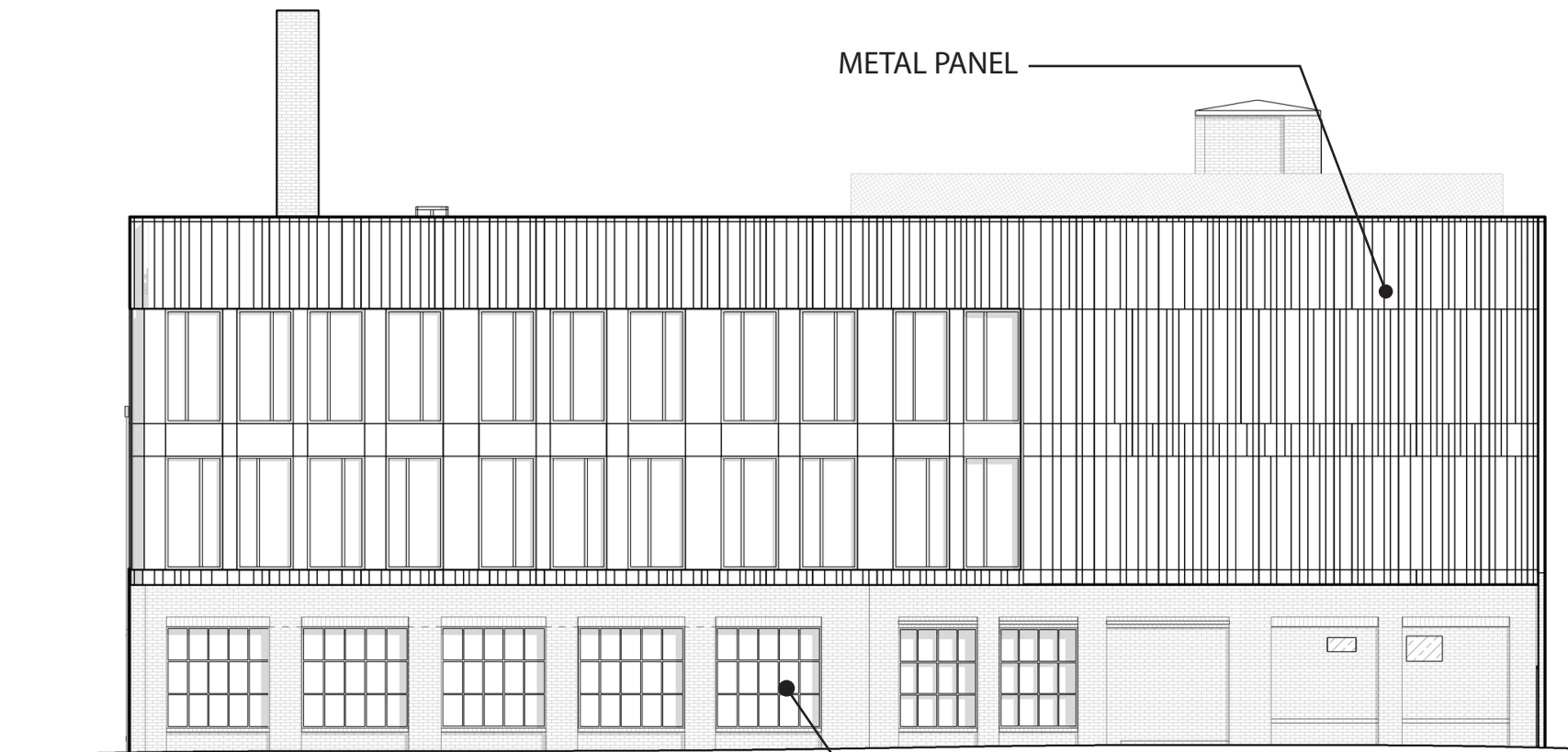
# RECLADDING

Replacing the CMU walls

Around 1950, a two-story CMU addition was added onto the one-story masonry sheds behind the original factory building. The CMU wall facing Tudor Street and Sydney Street will be replaced with insulated metal stud wall construction with standing seam metal panel cladding with windows installed.



SIDNEY STREET ELEVATION - EXISTING



SIDNEY STREET ELEVATION - PROPOSED

ALUM. REPLICA WINDOWS



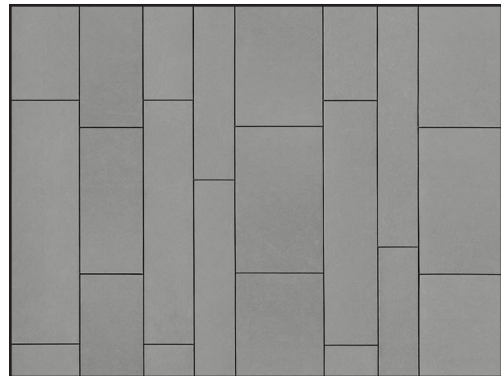
# MATERIALS



MURAL WILL BE PROTECTED DURING CONSTRUCTION. There are currently no proposed plans for north facing CMU facade.



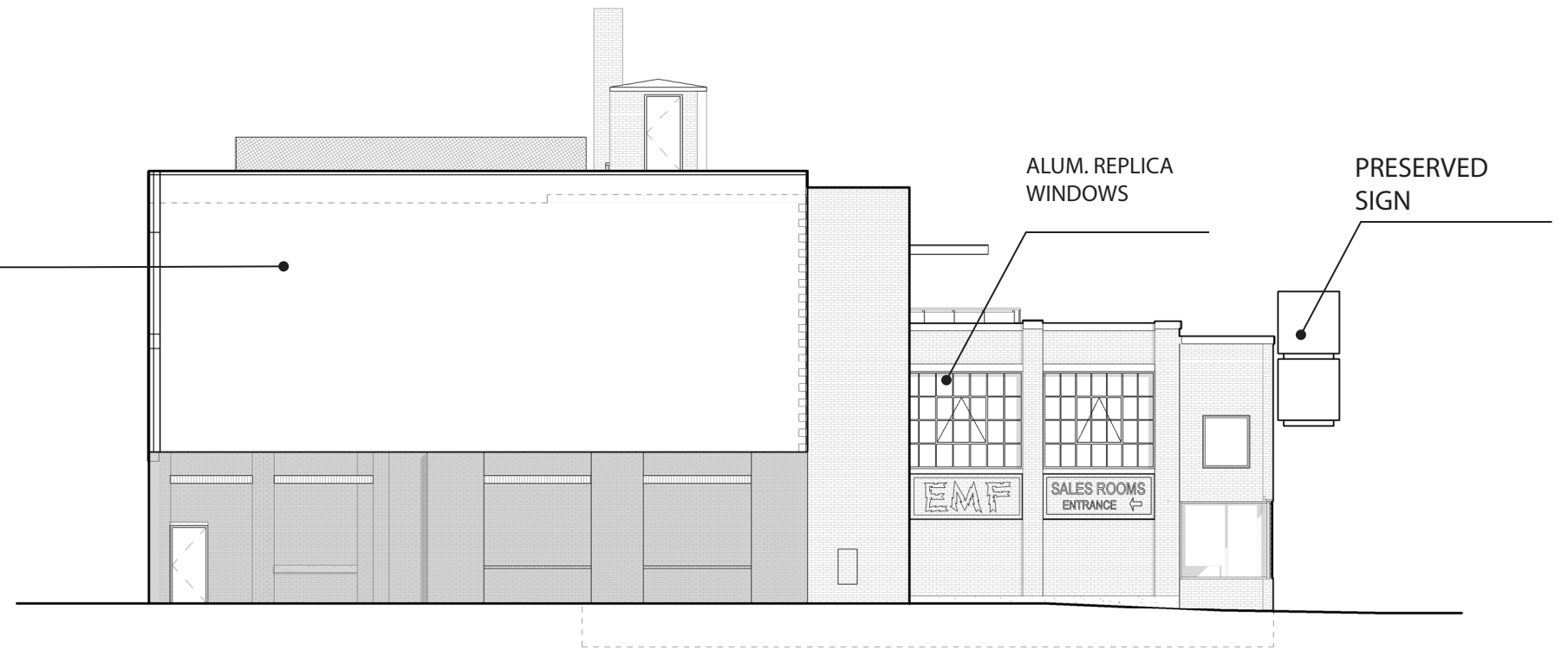
ALUMINUM STEEL REPLICA  
BLACK TRIM AND MUNTINS  
DIVIDED LITE WINDOWS



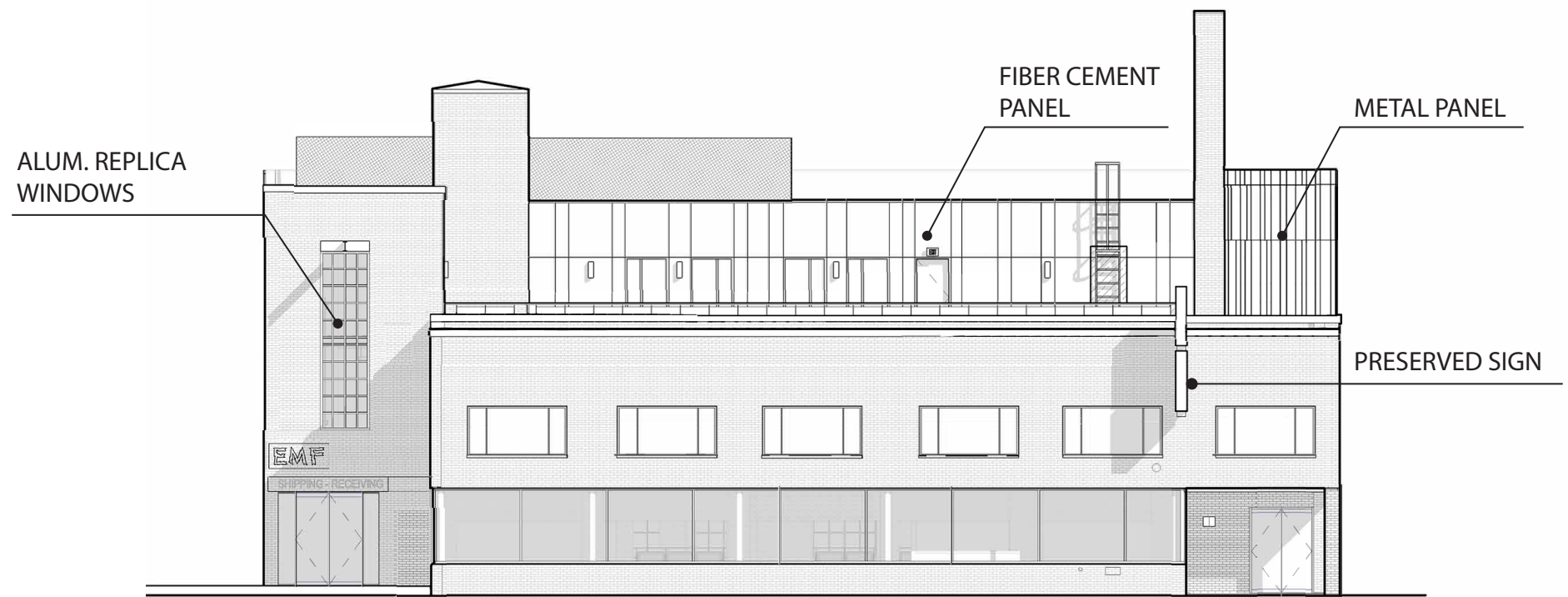
GRAY FIBER CEMENT



PRESERVED SIGN



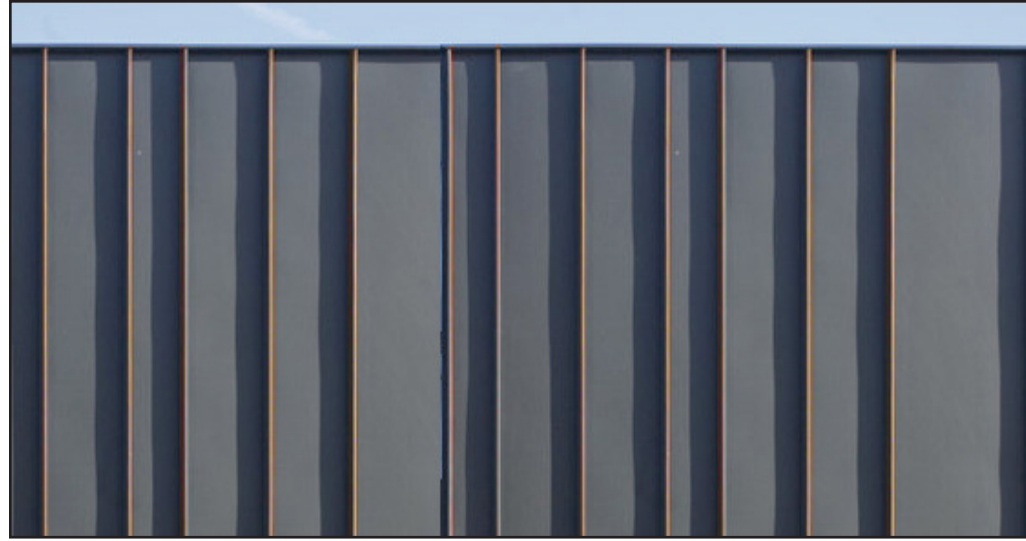
PACIFIC STREET ELEVATION



BROOKLINE STREET ELEVATION



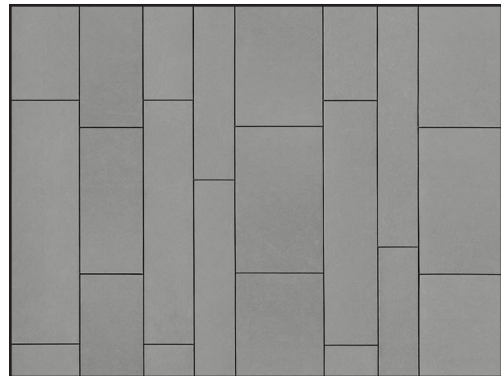
# MATERIALS



GRAPHITE ZINC COATED METAL PANELS  
 NATURAL COPPER SEAM CAP WILL PATINA OVER TIME  
 SEAM SNAP CAP PATINAS OVER TIME



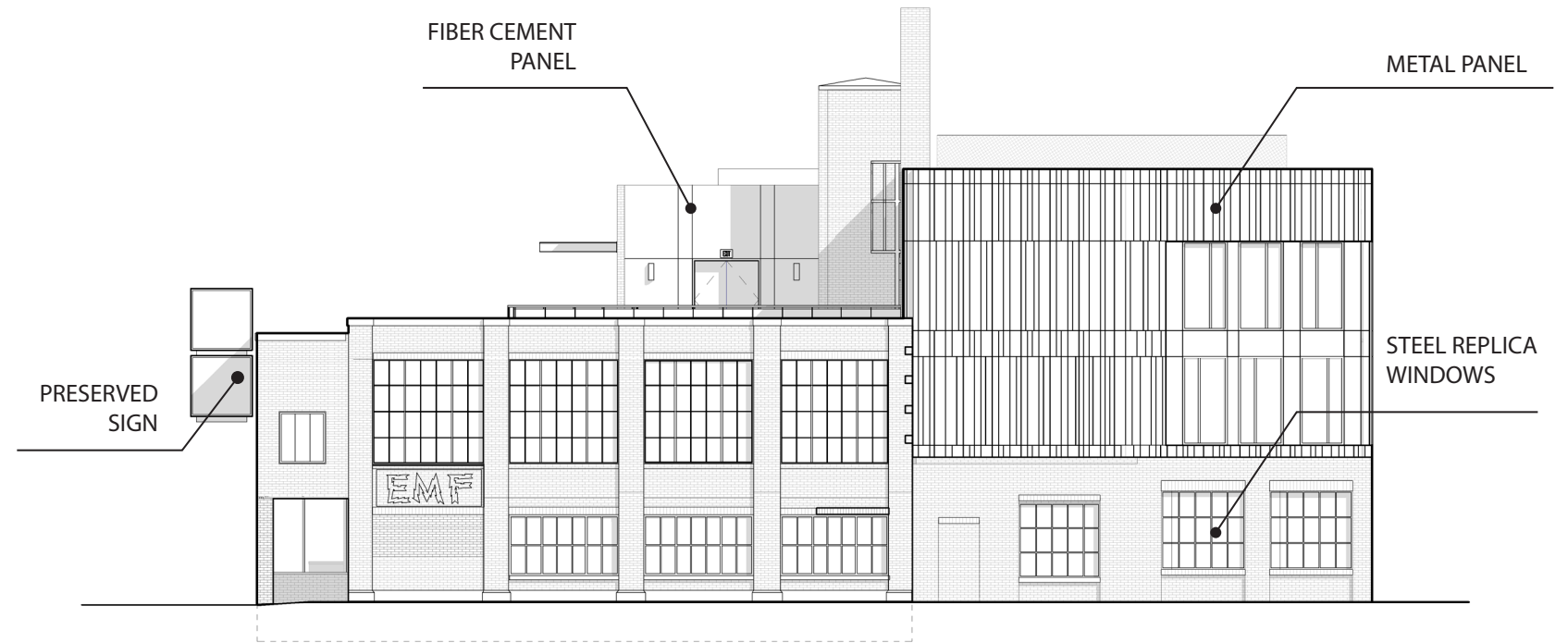
ALUMINUM STEEL REPLICA  
 BLACK TRIM AND MUNTINS  
 DIVIDED LITE WINDOWS



GRAY FIBER CEMENT PANEL



PRESERVED SIGN



TUDOR STREET ELEVATION



SYDNEY STREET ELEVATION







GENERAL PLAN NOTES

- A. THE DRAWINGS ARE BASED UPON BUILDING DOCUMENTATION COMPLETED PRIOR TO DEMOLITION WORK. CONDITIONS MUST BE VERIFIED IN FIELD PRIOR TO BIDDING, PRICING, ORDERING MATERIALS, OR COMMENCING WORK. EACH TRADE SHALL VERIFY BUILDING MEASUREMENTS CRITICAL TO THE WORK. THE ARCHITECT SHALL BE INFORMED OF ANY DISCREPANCIES WITHIN THE DRAWINGS OR BETWEEN THE DRAWINGS AND FIELD CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK. FOR MORE INFORMATION SEE SPECIFICATIONS
B. ALL WORK IS NEW UNLESS OTHERWISE NOTED (UON)
C. GRIDLINES ARE DIMENSIONED TO CENTER OF COLUMNS AND STRUCTURE UON. FINAL VERIFICATION REQUIRED AFTER DEMOLITION IS COMPLETE.
D. ALL PARTITION DIMENSIONS ARE TO FINISH FACE UON. CONTRACTOR SHALL COORDINATE NEW OPENINGS WITH DOOR SCHEDULE
E. EXISTING FIRE RATED ASSEMBLIES THAT ARE MODIFIED OR PENETRATED BY NEW MECHANICAL, ELECTRICAL OR ARCHITECTURAL WORK SHALL BE RESTORED TO COMPLETE INTEGRITY TO MEET CODE. ALL MATERIALS THROUGH RATED PARTITIONS SHALL BE FULLY SEALED WITH MATERIALS CONFORMING TO CODE.
F. FOR NEW MASONRY OPENINGS OR EXISTING OPENINGS TO BE MODIFIED REFER TO STRUCTURAL SCHEDULES, DRAWINGS, AND SPECIFICATIONS FOR STRUCTURAL LINTELS. PROVIDE GALVANIZED STEEL LINTELS FOR ALL EXTERIOR CONDITIONS. COORDINATE WITH WINDOW SCHEDULE, ELEVATIONS, AND WINDOW DETAILS.
G. PROVIDE NEW BLOCKING AND ANCHORAGE AS REQUIRED FOR NEW WINDOWS IN ALL EXISTING MASONRY OPENINGS. COORDINATE WITH THE SPECIFICATION FOR ADDITIONAL REQUIREMENTS.
H. PROVIDE ADEQUATE BACK UP AND BLOCKING FOR INSTALLATION OF ALL EQUIPMENT RAILINGS OR FOR GENERAL CONSTRUCTION. MAKE ALL WOOD BLOCKING IN EXTERIOR OR INTERIOR WALL CONSTRUCTION FIRE RATED/FIRE TREATED.
I. REFER TO FINISH PLANS AND SCHEDULE FOR ROOM FINISH INFORMATION.
J. REFER TO EXTERIOR ELEVATIONS FOR WINDOW AND WINDOW INFILL INFORMATION.
K. THE DIMENSION FROM DOOR OPENING TO FACE OF WALL SHALL BE 6" UON.
L. ANY NEW WALLS ENCASED COLUMNS TO BE CENTERED UON.
M. EXPOSED MASONRY WALLS TO BE LIGHTLY SCRAPED AND CLEAR SEALED, UON.
N. WOOD AND CONCRETE FLOORS TO BE PATCHED TO MATCH ADJACENT, SANDED, AND CLEAR SEALED, UON.
O. FLOOR PATCHING TO BE CONTINUOUS BELOW PARTITION WALLS
P. COORDINATE WITH DOOR HARDWARE SPECIFICATION 080671

FLOOR REPAIR LEGEND

- NEW CONCRETE SLAB
GRIND AND PATCH CONCRETE
FILL WITH CONCRETE TO LEVEL AS NOTED
CUT AND SEAL FOUNDATION CONCRETE

PLAN KEY

- NEW CONSTRUCTION
EXISTING TO REMAIN
WOOD INFILL FLOOR
PATCHING OR LEVELING OF FLOOR
CONCRETE INFILL FLOOR

Table with 3 columns: Rev, Date, Remarks. Includes revision records for AUGUST 8, 2018.

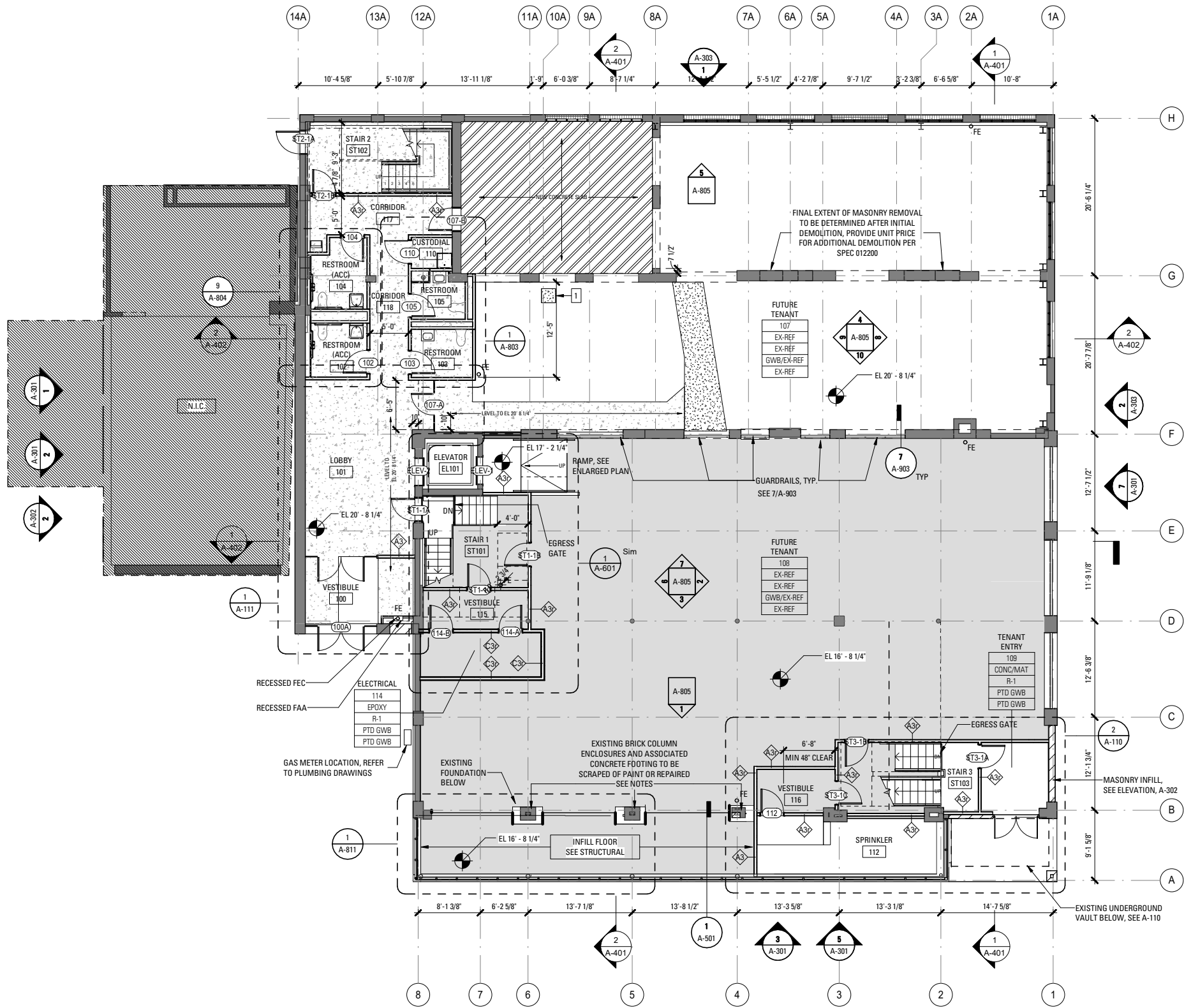
Table with 2 columns: Field, Value. Includes Date (AUGUST 8, 2018), Scale (As indicated), Project Number (17.032), and Drawn By (Author).

120 BROOKLINE ST

Core and Shell Renovation  
120 Brookline St  
Cambridge MA

FIRST FLOOR PLAN

A-101



LEVEL 1 = 0'0" = 20.69' Cambridge

IF THIS SHEET IS NOT 22" x 36", IT HAS BEEN REDUCED OR ENLARGED.

1 LEVEL 1 PLAN  
SCALE: 1/8" = 1'-0"

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**GENERAL PLAN NOTES**

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- O. FLOOR PATCHING TO BE CONTINUOUS BELOW PARTITION WALLS.
- P. COORDINATE WITH DOOR HARDWARE SPECIFICATION 080671

Rev	Date	Remarks

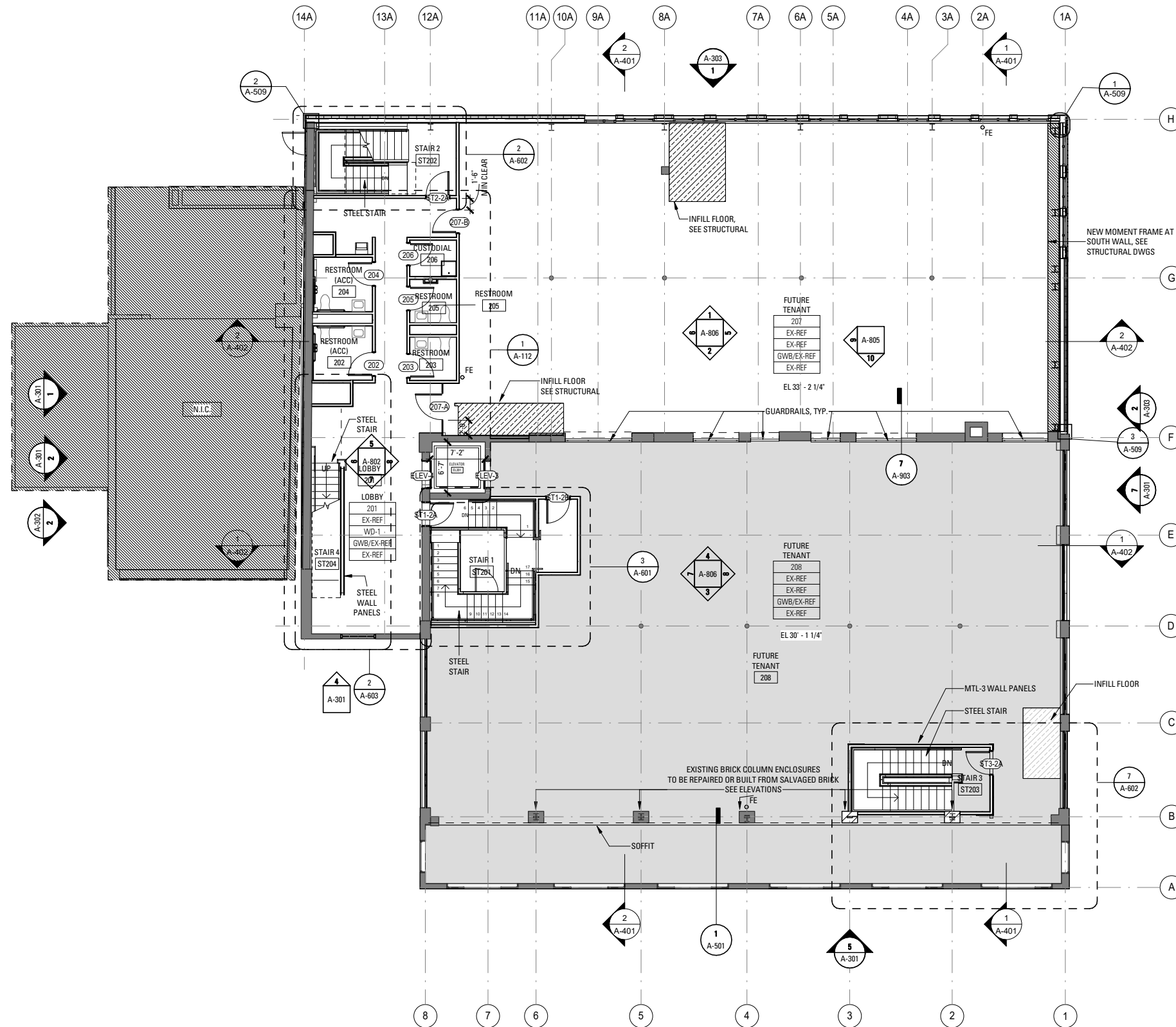
Date	AUGUST 8, 2018
Scale	As indicated
Project Number	17.032
Drawn By	Author

**120 BROOKLINE ST**

**Core and Shell Renovation**  
120 Brookline St  
Cambridge MA

**SECOND FLOOR PLAN**

**A-102**



**PLAN KEY**

- NEW CONSTRUCTION
- EXISTING TO REMAIN
- WOOD INFILL FLOOR
- PATCHING OR LEVELING OF FLOOR
- CONCRETE INFILL FLOOR



LEVEL 1 = 0'0" = 20.69' Cambridge



**GENERAL PLAN NOTES**

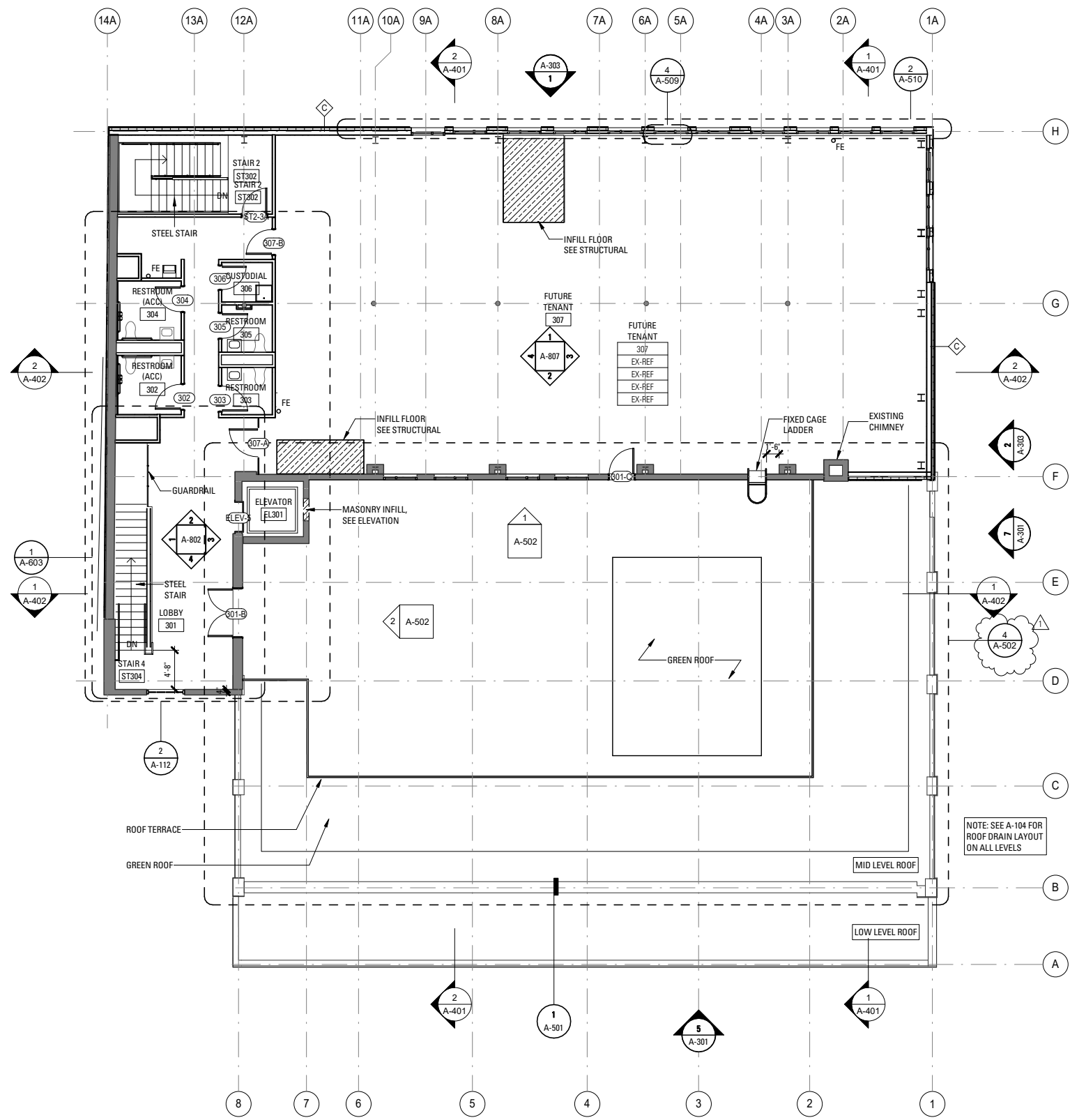
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- G. PROVIDE NEW BLOCKING AND ANCHORAGE AS REQUIRED FOR NEW WINDOWS IN ALL EXISTING MASONRY OPENINGS. COORDINATE WITH THE SPECIFICATION FOR ADDITIONAL REQUIREMENTS.
- H. PROVIDE ADEQUATE BACK UP AND BLOCKING FOR INSTALLATION OF ALL EQUIPMENT RAILINGS OR FOR GENERAL CONSTRUCTION. MAKE ALL WOOD BLOCKING IN EXTERIOR OR INTERIOR WALL CONSTRUCTION FIRE RATED/FIRE TREATED.
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- K. THE DIMENSION FROM DOOR OPENING TO FACE OF WALL SHALL BE 6" UON.
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- M. EXPOSED MASONRY WALLS TO BE LIGHTLY SCRAPPED AND CLEAR SEALED, UON.
- N. WOOD AND CONCRETE FLOORS TO BE PATCHED TO MATCH ADJACENT, SANDED, AND CLEAR SEALED, UON.
- O. FLOOR PATCHING TO BE CONTINUOUS BELOW PARTITION WALLS.
- P. COORDINATE WITH DOOR HARDWARE SPECIFICATION 080671.

Rev	Date	Remarks
1	6/8/18	Addendum 1

Date	AUGUST 8, 2018
Scale	As indicated
Project Number	17.032
Drawn By	Author

120 BROOKLINE ST  
ST

Core and Shell Renovation  
120 Brookline St  
Cambridge MA



**PLAN KEY**

- NEW CONSTRUCTION
  - EXISTING TO REMAIN
  - WOOD INFILL FLOOR
  - PATCHING OR LEVELING OF FLOOR
  - CONCRETE INFILL FLOOR
- PROJECT NORTH
- TRUE NORTH

LEVEL 1 = 0'0" = 20.69' Cambridge

THIRD FLOOR PLAN

**1** LEVEL 3 PLAN  
SCALE: 1/8" = 1'-0"

**A-103**



**GENERAL ROOF PLAN NOTES**

1. THE DRAWINGS ARE BASED UPON BUILDING DOCUMENTATION COMPLETED PRIOR TO DEMOLITION WORK. CONDITIONS MUST BE VERIFIED IN FIELD PRIOR TO BIDDING, PRICING, ORDERING MATERIALS, OR COMMENCING WORK. EACH TRADE SHALL VERIFY BUILDING MEASUREMENTS CRITICAL TO THE WORK. THE ARCHITECT SHALL BE INFORMED OF ANY DISCREPANCIES WITHIN THE DRAWINGS OR BETWEEN THE DRAWINGS AND FIELD CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK. FOR MORE INFORMATION SEE SPECIFICATIONS
2. ALL WORK IS NEW UNLESS OTHERWISE NOTED (UON)
3. REFER TO MECHANICAL DRAWINGS FOR EXTENT OF ROOF TOP UNITS.
4. COORDINATE WITH STRUCTURAL DRAWINGS FOR STEEL DUNNAGE AT ROOF TOP UNITS.
5. ALL NEW ROOFS MUST COMPLY WITH TYPICAL DETAILS, REFER TO SHEET A1-507.
6. ROOF PITCH AND CRICKETING SHOWN IN DRAWING ARE DIAGRAMMATIC. CONTRACTOR TO SUBMIT COORDINATED TAPERED INSULATION SHOP DRAWINGS PRIOR TO ORDERING OF MATERIALS SHOWING ALL CODE REQUIRED MINIMUM SLOPES, R-VALUES, PENETRATIONS, DEPTHS OF INSULATION AT BUILDING PERIMTERS, AND CRICKETING REQUIRED TO PROPERLY DRAIN THE ROOF AREAS.
7. ANY EXISTING FIRE RATED ASSEMBLIES THAT ARE MODIFIED OR PENETRATED BY NEW MECHANICAL, ELECTRICAL OR ARCHITECTURAL WORK SHALL BE RESTORED TO COMPLETE INTEGRITY TO MEET CODE. ALL MATERIALS THROUGH RATED PARTITIONS SHALL BE FULLY SEALED WITH MATERIALS CONFORMING TO CODE.
8. PROVIDE NEW TREATED BLOCKING AND ANCHORAGE AS REQUIRED FOR ALL ROOF SYSTEM THICKNESSES.
9. COORDINATE WITH ROOF DETAILS ON SHEET A1-507.

**ROOF KEY NOTES**

- - - - - TRANSITION TO VERTICAL MASONRY WALL, SEE DETAIL 2/A-507
- · - · - · - PARAPET, SEE DETAIL 9/A-507

Rev	Date	Remarks

Date	AUGUST 8, 2018
Scale	As indicated
Project Number	17.032
Drawn By	Author

120 BROOKLINE ST

Core and Shell Renovation  
120 Brookline St  
Cambridge MA

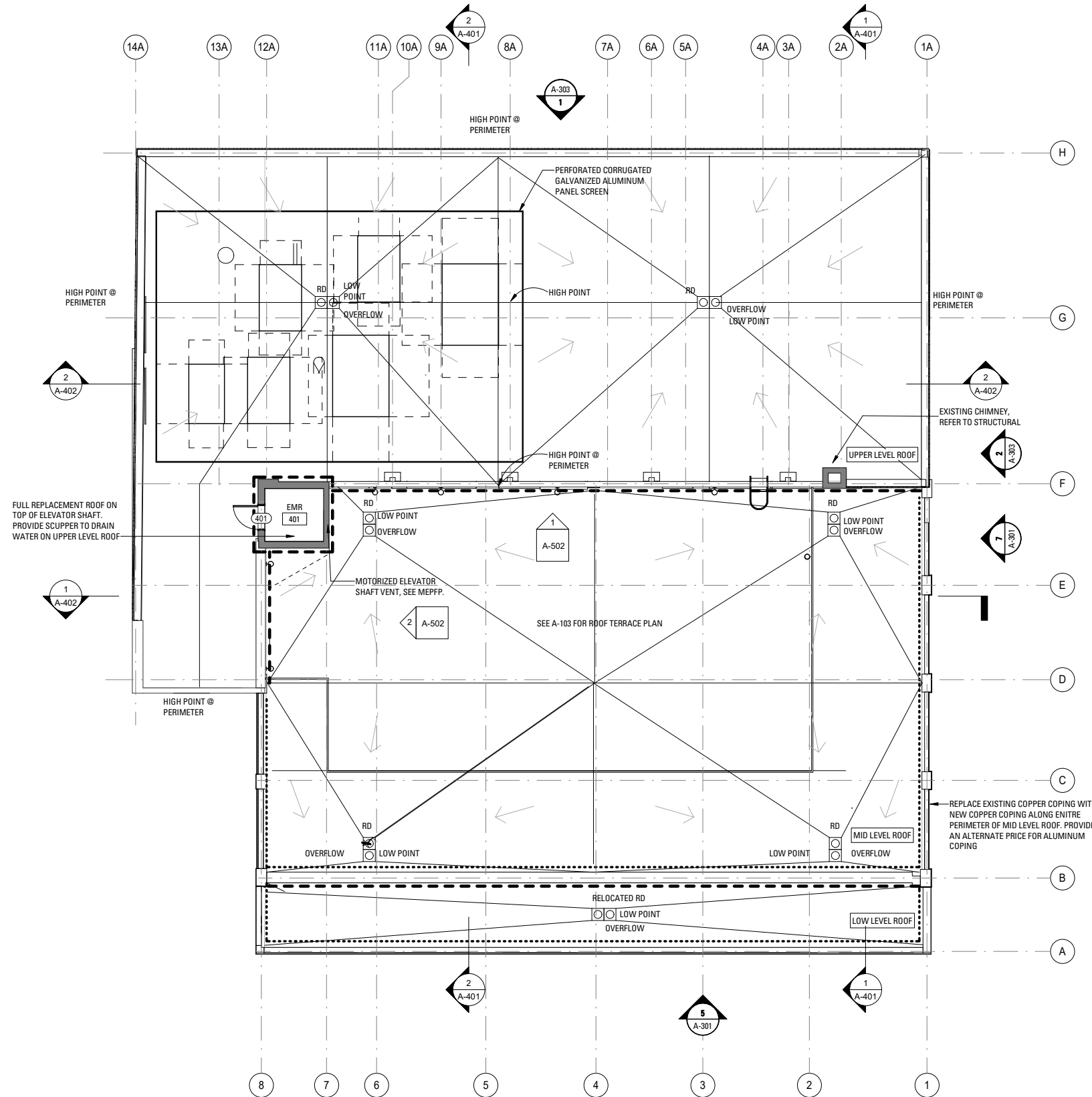
**PLAN KEY**

- NEW CONSTRUCTION
  - EXISTING TO REMAIN
  - WOOD INFILL FLOOR
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  - CONCRETE INFILL FLOOR
- PROJECT NORTH  
TRUE NORTH

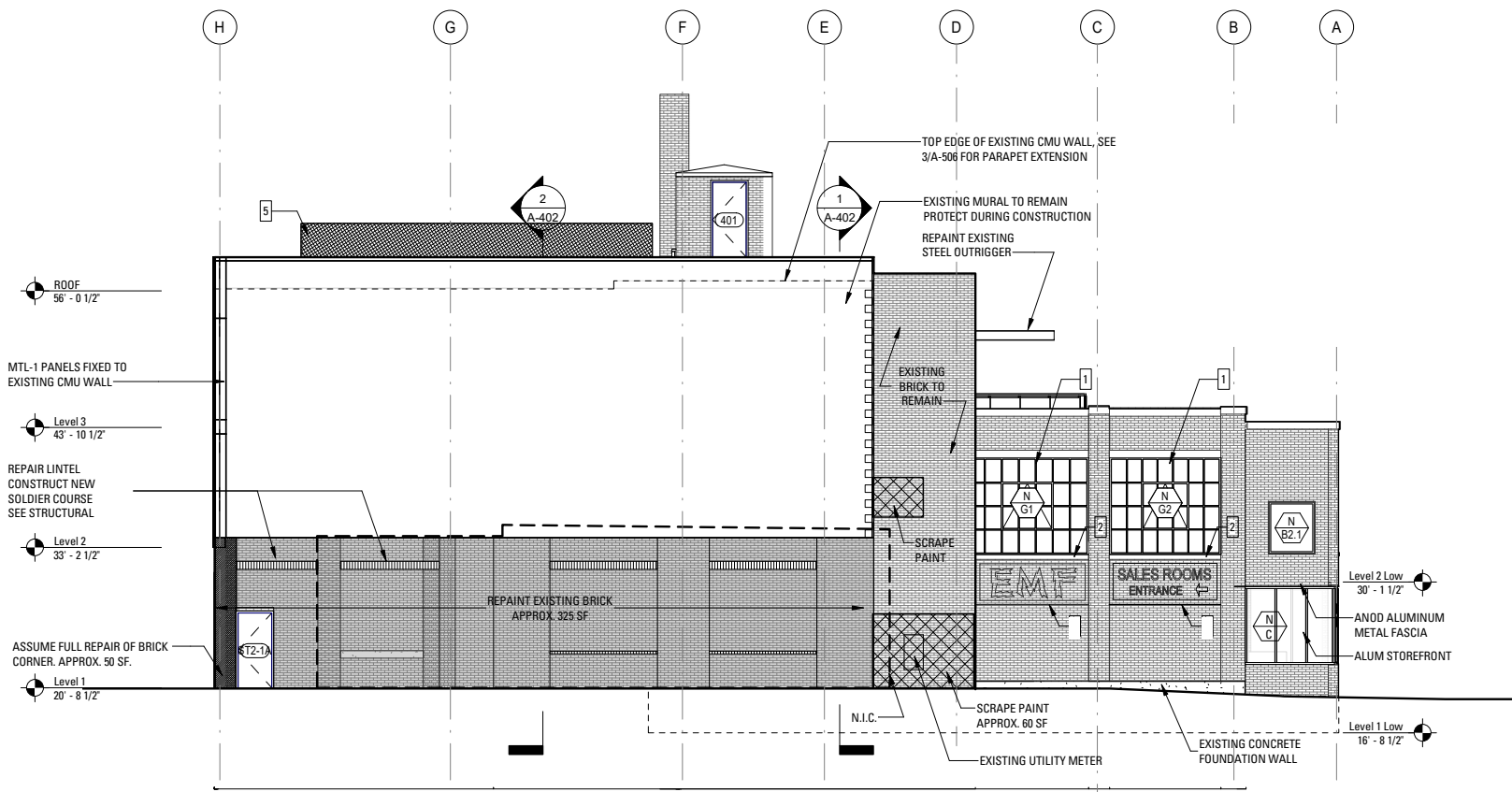
LEVEL 1 = 0'0" = 20.68' Cambridge

**ROOF PLAN**

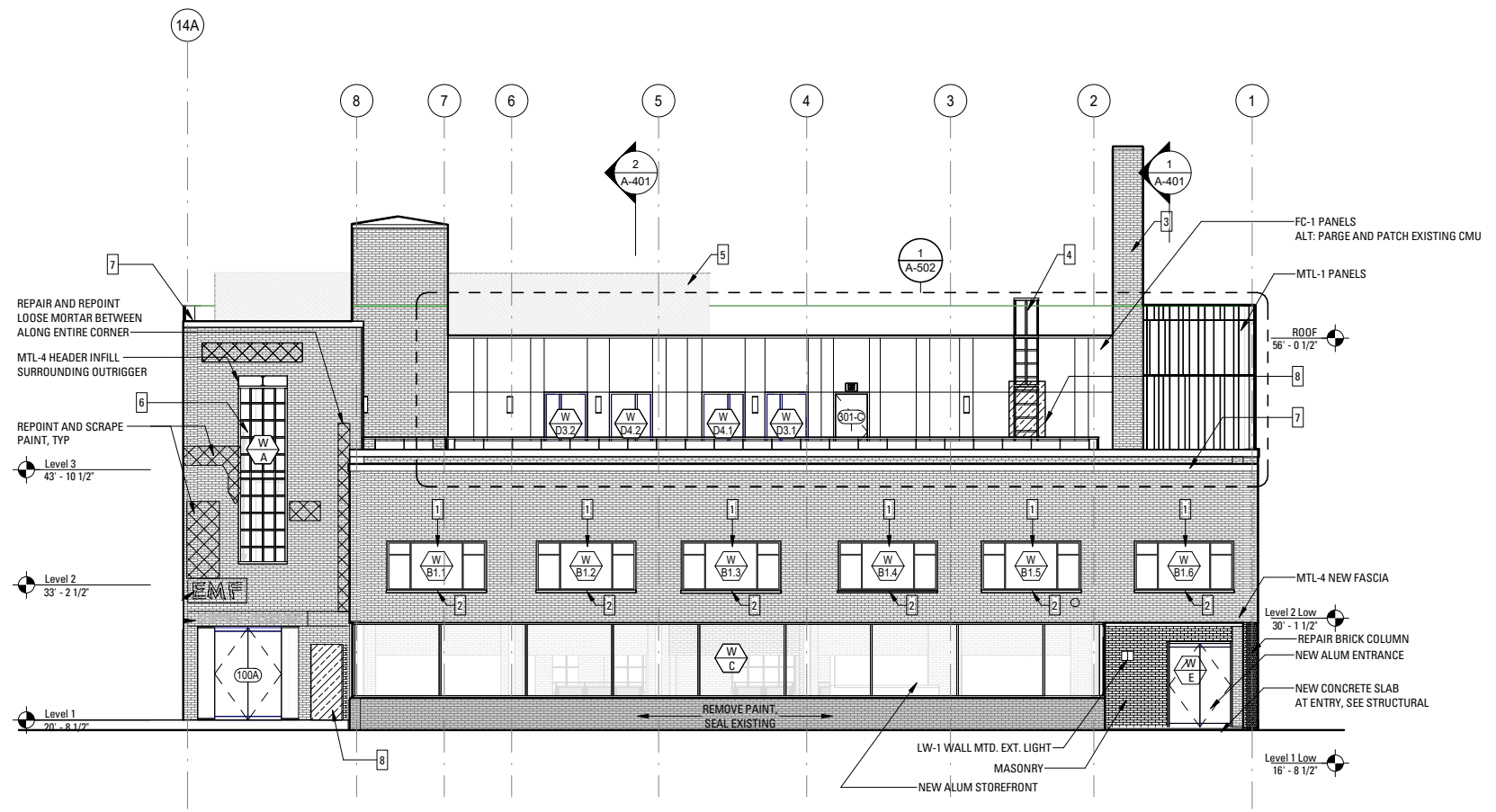
**A-104**



**1 ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**2 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**1 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

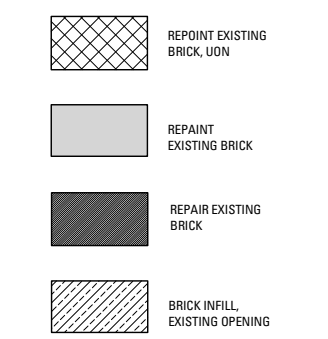
**EXTERIOR ELEVATION GENERAL NOTES**

- A. REMOVE ALL EXISTING EQUIPMENT AND CONNECTIONS FROM ELEVATION UON
- B. REMOVE EXISTING ROOF FLASHING AND ASSOCIATED MATERIALS AND AFFECTED MORTAR JOINTS. CLEAN AND REPAIR WORK AREA BEFORE REPOINTING. REFER TO SPECIFICATION.
- C. CONTRACTOR TO MAKE EVERY EFFORT TO SALVAGE ORIGINAL BRICK FOR REUSE ELSEWHERE ON SITE.
- D. CAREFULLY REMOVE EXISTING PAINT WHERE EXPOSED
- E. CLEAN/REMOVE WATER DAMAGE AT EXISTING SILLS UNLESS NOTED TO REPLACE SILL.
- F. REFER TO S-XXX FOR LINTEL REPAIR. LINTELS TO BE REBUILT TO MATCH EXISTING CONDITION UON.
- G. FIELD VERIFY EXISTING CONDITIONS PRIOR TO BID. SUBMIT QUESTIONS TO ARCHITECT.
- H. ALL WINDOWS TO BE

**EXTERIOR ELEVATION KEY NOTES**

- 1. NEW WINDOW UNDER EXISTING LINTEL
- 2. CLEAN/REMOVE WATER DAMAGE AND RUST AT EXISTING SILL
- 3. VERIFY CHIMNEY STRUCTURE. COORDINATE WITH STRUCTURAL FOR ANY NEEDED REPAIR OR BRACING.
- 4. OSHA-COMPLIANT FIXED CAGE LADDER FOR ACCESS TO HIGH ROOF
- 5. SOUND SCREENING FOR MECHANICAL RTU TO BE TESTED FOR COMPLIANCE WITH CITY ORDINANCE. SEE PART PLAN S-104 FOR FRAMING.
- 6. NEW WINDOW IN ENLARGED OPENING. COORDINATE WITH INTERIOR ELEVATIONS AND PLANS.
- 7. NEW COPPER COPING TO REPLACE EXISTING COPING. PROVIDE ALTERNATE COST FOR ALUMINUM COPING.
- 8. MASONRY INFILL AT EXISTING OPENING.

**BRICK REPAIR LEGEND**



Rev	Date	Remarks

**120 BROOKLINE ST**

**Core and Shell Renovation  
120 Brookline St  
Cambridge MA**

**BUILDING ELEVATIONS - NORTH AND WEST**

**A-302**



Rev	Date	Remarks

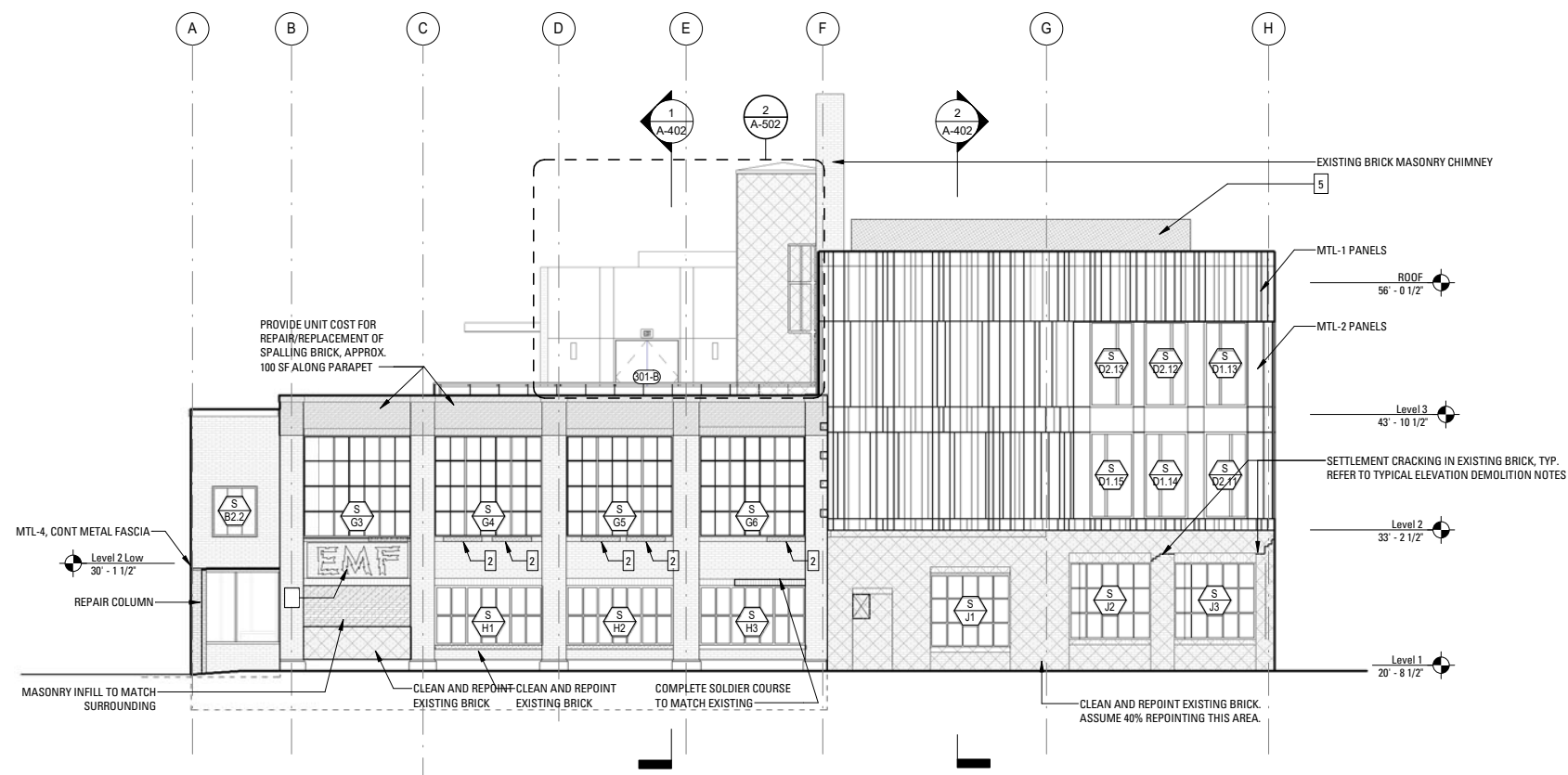
Date AUGUST 8, 2018  
Scale As indicated  
Project Number 17.032  
Drawn By  
Author

## 120 BROOKLINE ST

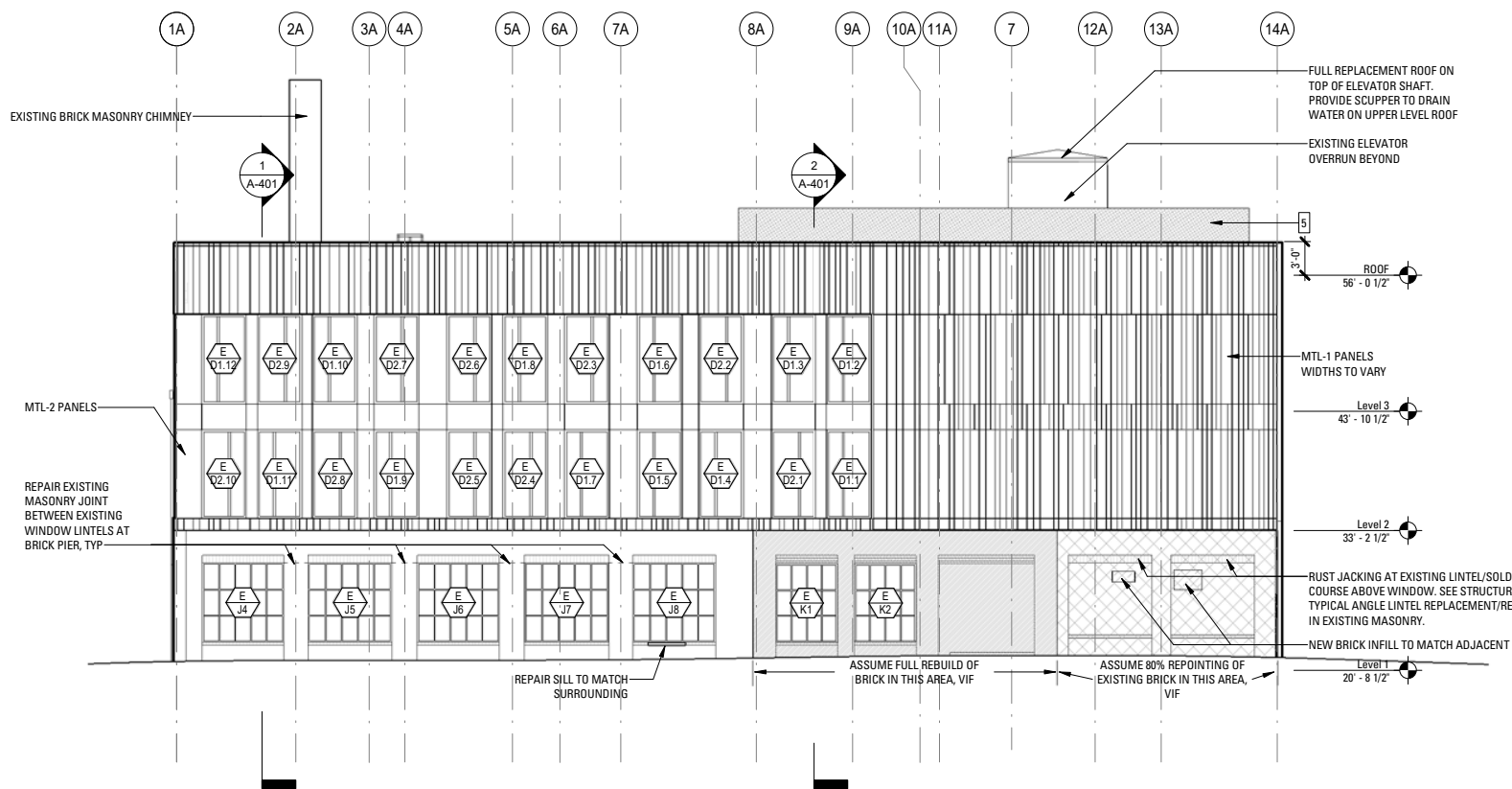
### Core and Shell Renovation 120 Brookline St Cambridge MA

#### BUILDING ELEVATIONS - SOUTH AND EAST

# A-303



**2 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**1 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

#### EXTERIOR ELEVATION GENERAL NOTES

- A. REMOVE ALL EXISTING EQUIPMENT AND CONNECTIONS FROM ELEVATION UON
- B. REMOVE EXISTING ROOF FLASHING AND ASSOCIATED MATERIALS AND AFFECTED MORTAR JOINTS. CLEAN AND REPAIR WORK AREA BEFORE REPOINTING. REFER TO SPECIFICATION.
- C. CONTRACTOR TO MAKE EVERY EFFORT TO SALVAGE ORIGINAL BRICK FOR REUSE ELSEWHERE ON SITE.
- D. CAREFULLY REMOVE EXISTING PAINT WHERE EXPOSED
- E. CLEAN/REMOVE WATER DAMAGE AT EXISTING SILLS UNLESS NOTED TO REPLACE SILL.
- F. REFER TO S-XXX FOR LINTEL REPAIR. LINTELS TO BE REBUILT TO MATCH EXISTING CONDITION UON.
- G. FIELD VERIFY EXISTING CONDITIONS PRIOR TO BID. SUBMIT QUESTIONS TO ARCHITECT.
- H. ALL WINDOWS TO BE

#### EXTERIOR ELEVATION KEY NOTES

1. NEW WINDOW UNDER EXISTING LINTEL
2. CLEAN/REMOVE WATER DAMAGE AND RUST AT EXISTING SILL
3. VERIFY CHIMNEY STRUCTURE. COORDINATE WITH STRUCTURAL FOR ANY NEEDED REPAIR OR BRACING.
4. OSHA-COMPLIANT FIXED CAGE LADDER FOR ACCESS TO HIGH ROOF
5. SOUND SCREENING FOR MECHANICAL RTU TO BE TESTED FOR COMPLIANCE WITH CITY ORDINANCE. SEE PART PLAN S-104 FOR FRAMING.
6. NEW WINDOW IN ENLARGED OPENING. COORDINATE WITH INTERIOR ELEVATIONS AND PLANS.
7. NEW COPPER COPING TO REPLACE EXISTING COPING. PROVIDE ALTERNATE COST FOR ALUMINUM COPING.
8. MASONRY INFILL AT EXISTING OPENING.

#### BRICK REPAIR LEGEND

- REPOINT EXISTING BRICK, UON
- REPAINT EXISTING BRICK
- REPAIR EXISTING BRICK
- BRICK INFILL, EXISTING OPENING