



# CAMBRIDGE HISTORICAL COMMISSION

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E-mail: histcomm@cambridgema.gov URL: www.cambridgema.gov/Historic

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MAR 12 2019

## APPLICATION FOR CERTIFICATE

CAMBRIDGE HISTORICAL COMMISSION

1. The undersigned hereby applies to the Cambridge Historical Commission for a Certificate of (check one box):  Appropriateness,  Nonapplicability, or  Hardship, in accordance with Chapter 40C of the Massachusetts General Laws and/or Chapter 2.78 of the Municipal Code.

2. Address of property:  , Cambridge, Massachusetts

3. Describe the proposed alteration(s), construction or demolition in the space provided below: (An additional page can be attached, if necessary).

Please see attached description and graphics.

I certify that the information contained herein is true and accurate to the best of my knowledge and belief. The undersigned also attests that he/she has read the statements printed on the reverse.

Name of Property Owner of Record:	<input type="text" value="President and Fellows of Harvard College"/>		
Mailing Address:	<input type="text" value="c/o Erika Johnson, Harvard Planning Office, 1350 Mass Ave, Cambridge, MA 02138"/>		
Telephone/Fax:	<input type="text" value="617-384-7745 / 617-495-0559"/>	E-mail:	<input type="text" value="erika_johnson@harvard.edu"/>
Signature of Property Owner of Record:	<input type="text" value="Erika Johnson"/>		
(Required field; application will not be considered complete without property owner's signature)			
Name of proponent, if not record owner:	<input type="text"/>		
Mailing Address:	<input type="text"/>		
Telephone/Fax:	<input type="text"/>	E-mail:	<input type="text"/>

(for office use only):			
Date Application Received:	<input type="text" value="3/12/19"/>	Case Number:	<input type="text" value="4079"/>
		Hearing Date:	<input type="text" value="4/4/19"/>
Type of Certificate Issued:	<input type="text"/>		Date Issued: <input type="text"/>

### *Introduction*

Adams House Renewal is the sixth project in Harvard's undergraduate House Renewal campaign. While upgrades to life safety, accessibility, and building systems are fundamental and necessary goals of the campaign, the broader Renewal mission is to preserve the historic character and culture of the Houses while renewing the House experience as part of a twenty-first century approach to liberal arts education.

The buildings comprising Adams House are situated across three city blocks bounded by Bow Street to the south and east, Holyoke Street to the west, and Massachusetts Avenue to the north. All of Adams House falls within the boundaries of the Harvard Square Neighborhood Conservation District.

This application concerns Apthorp House, which is to be renovated as part of Adams Renewal Phase II. Apthorp, which dates from 1760 and is now nestled within the block between Linden and Plympton Streets, is a historically and architecturally significant home that has served as the Adams Faculty Dean's (formerly known as Masters') Residence since Adams' creation in 1931.

### *Adams House History*

Since its formation in 1930, the House system has been a cornerstone of the undergraduate experience at Harvard. Unlike the six other Houses which Harvard created in 1930-31, Adams House was established from a grouping of older buildings that Harvard had acquired, the most visually prominent of which were Claverly Hall (1892), Randolph Hall (1897-1902), and Westmorly Court (1898-1902). Built in the 1890s by private developers to serve the luxury off-campus housing market, these apartment houses were synonymous at that time with the wealth and privilege of Harvard's "Gold Coast." Apthorp House was also incorporated into Adams as the Master's Residence, and Harvard built new as well, adding a commons building and another dormitory (Library Commons, 1931; Russell Hall, 1932). The overall complex of six structures comprises approx. 240,000 GSF.

### *History of Apthorp House*

Apthorp House was built in 1760-61 for the first Anglican missionary to Cambridge, Reverend East Apthorp, to serve as his personal home. Rev. Apthorp's estate extended down toward the Charles River and the house was sited to advantage on high ground with the principal façade oriented southward. Its Palladian-inspired, two-story wood frame design is attributed to America's first professionally trained architect, Peter Harrison, who also designed Christ Church, Cambridge, Rev. Apthorp's parish. The third floor of Apthorp House was added circa 1775 by the second owner of the home, John Borland, most likely by raising the original roof and constructing the new level below it. During the Revolutionary War, the building was used as lodging for troops, served as the headquarters of General Putnam until the Battle of Bunker Hill, and was British General John Burgoyne's place of detention after his capture at Saratoga, a significant turning point in the war.

The house was occupied continuously by a succession of families until the turn of the twentieth century. In 1897, property south of the home was sold to the Coolidge brothers, who developed an off-campus dormitory, Randolph Hall, along Bow Street. Designed as a U-shaped building, Randolph's interior driving court faced onto Apthorp. In 1901, Apthorp's owners sold the house itself and the remaining property to the Coolidges, who built the east addition to Randolph in 1902. Apthorp was used as a dormitory by student renters from 1902 until the creation of Adams House, when Apthorp was converted into the Adams House Masters Residence, its use today.

# Harvard University Adams House Renewal

## Phase II: Apthorp House

### Application for Certificate of Appropriateness

PREPARED FOR  
CAMBRIDGE HISTORICAL COMMISSION

PREPARED BY  
Beyer Blinder Belle Architects & Planners LLP

MARCH 12, 2019

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### *Architectural Description of Apthorp House*

Apthorp House is a regionally significant example of high-style Georgian architecture, originally built as a two-and-a-half story structure with a double-hipped roof and pair of chimneys. The third floor was added ca. 1775. Like Longfellow, the highly symmetrical original plan was influenced by Neo-Palladian design, with a central on-axis stair hall extending front to back on two floors, giving access to a pair of rooms to either side; each pair of rooms share a common chimney. The lower two stories of the primary (south) façade retain their original details and are symmetrically arranged about a projecting central pavilion framed by Ionic pilasters that rise to support a modillioned cornice and low pediment. Identical pilasters are also present at each end of the façade. The main entry is framed by an ornamental hood supported by carved consoles; the frieze is decorated with a carved festoon set in a center panel flanked by carved volutes. It is understood that the original cladding was plaster, which did not survive well in the New England climate and gave way to clapboards after a few years. The third story, when it was added, was trimmed at its façade with Tuscan pilasters that rise to a moulded cornice at the eaves. Details of the façade and massing are substantially the same as found at the Vassall-Craigie-Longfellow House (105 Brattle St.) and the Lady Pepperell House (1760) at Kittery, Maine, both of which are also attributed to Peter Harrison. Two single-story wings, each with a shed roof, flank the east and west sides of the house and date to the late-nineteenth century, while a glass conservatory to the southeast dates from 1931. Windows are double-hung sash windows with interior folding paneled shutters in the principal entertaining spaces. Exterior shutters were added sometime in the mid-nineteenth century. The granite foundation and basement windows date from 1908.

### *Morphology of Apthorp House*

After the addition of the third floor circa 1775, no significant changes were evident until the mid-nineteenth century. Photographs from the 1880s show an extensive kitchen wing to the east, likely added earlier in the century, and an on-axis entry at the north façade (likely original), which gave access to the through-floor stair hall. A number of interior and exterior changes appear to come circa 1890, possibly in a single renovation campaign which may correlate to the introduction of indoor plumbing. On the exterior, the kitchen wing was demolished at this time and symmetrical single-story wings and covered porches were added to the east and west sides, similar to those at Longfellow House.

The next and perhaps most significant event in the house's history was its physical relocation south and eastward to accommodate the footprint of the 1908 Randolph Tennis & Racquet Club (now a Harvard academic building and outside the scope of this project). A sky-lit indoor swimming pool was constructed between Apthorp and the new building, enclosed by the low roof that still exists today (skylights long since removed). Two decades later, in 1931, the firm of Coolidge Shepley Bulfinch and Abbott, architects of the Neo-Georgian Harvard Houses (and no relation to the earlier developers), made significant modifications and upgrades to convert Apthorp back to a single-family home. The Conservatory was added at this time, and the Master's Study (now library) was created out of several rooms in the northeast corner of the home.

### *Significance of Apthorp House in the Conservation District*

While this application relates to local designation, the reference to Apthorp in the Harvard Square National Register District nomination is germane: it identifies six thematic elements in the area's history that contribute to its overall significance. As one of the most architecturally significant homes in the Square from the Colonial era, Apthorp House is a contributing structure that falls under Theme Two, "Buildings Before 1800." The nomination form specifically mentions Apthorp as a "lavish... elaborate High Georgian mansion, originally overlooking the Charles River." The house is an important historical and architectural resource in the City of Cambridge.

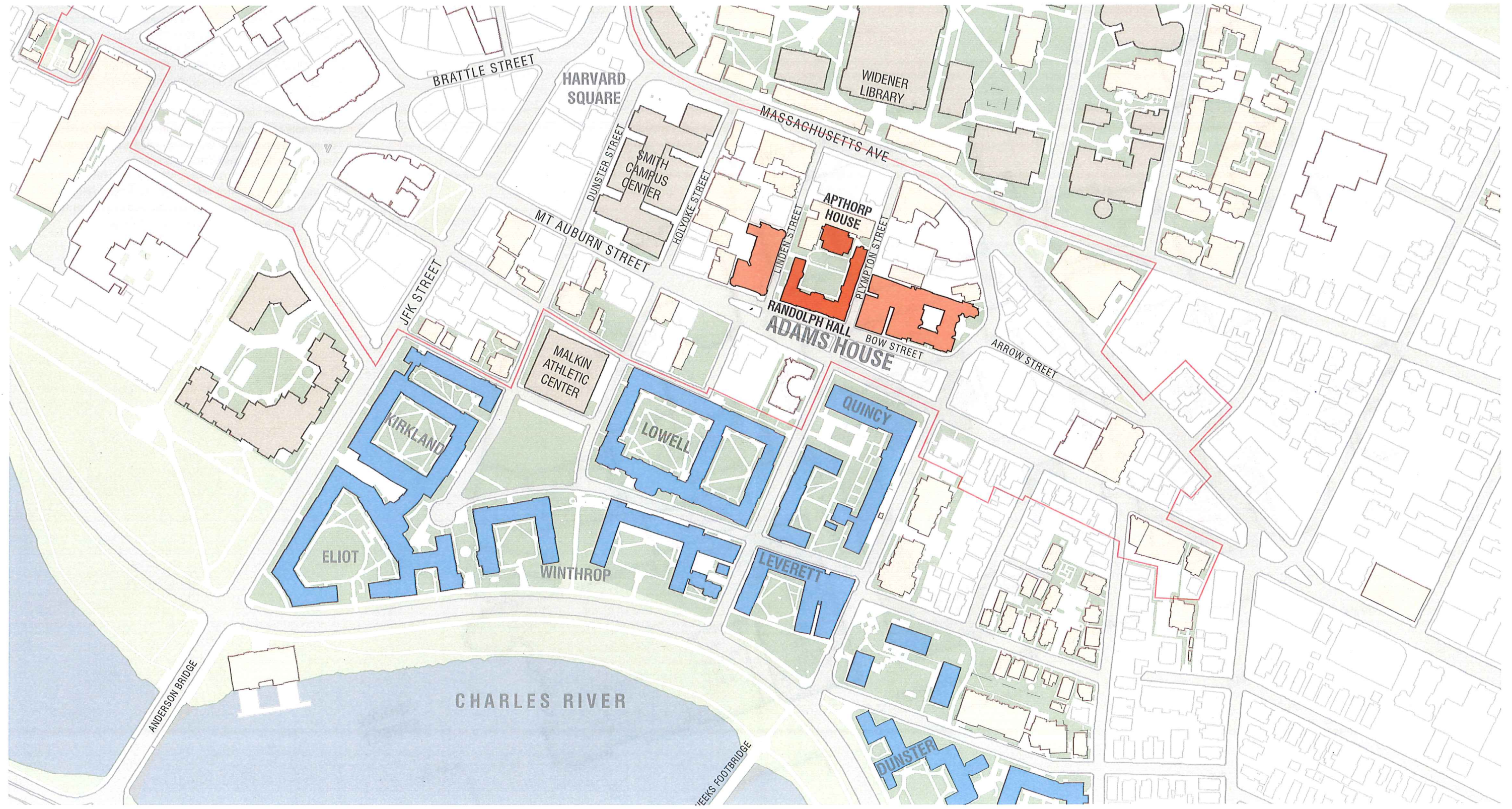
### *Summary of Proposed Alterations*

Proposed alterations fall into the following categories:

- Envelope and Chimney Restoration: Localized repair of wood clapboard and decorative elements, restoration and partial reconstruction of two masonry chimneys above the attic floor; localized repair and repointing of the 1908 ashlar granite foundation walls with parging of rubble where exposed. Localized repair of slate and copper roofing and gutters, with new gutters and downspouts where missing.
- South Elevation Entry and Masonry Changes: Replacement of heavily deteriorated brown sandstone stoop with granite to match 1908 foundation walls; replacement of modern metal handrails. New granite plinths to be added below original wood pilasters now “floating.”
- Restoration of Historic Windows: Frame and sash restoration, with glass salvage and reinstallation. Replacement of non-original exterior storm windows with new low-profile exterior storms. Exterior shutters to be restored, with replacement where necessary.
- Replacement of Basement Windows: Full replacement of 1908 wood basement windows with new wood frames, fixed sashes, and double-glazed lites (profiles similar to existing and matching existing width)
- 1931 Conservatory Rehabilitation: Vertical window-wall restoration, with replacement of the sashes (both fixed and operable casement) to allow for inclusion of double-glazed IGUs. Above the cornice, full replacement of sloped glazing and triangular clerestory with profiles similar to existing.
- North Elevation: Modifications required to the east single-story wing to add a wheelchair lift entry door at grade and convert the adjacent existing window into a door for direct entry into the library. At the original two-story portion of the north elevation, convert the existing on-center window to an entry door (there was an entry door here at least as early as the nineteenth century, likely earlier). The pair of small windows adjacent are not original and are to be removed.
- Landscape and Site Elements: Regrading and addition of hardscape for accessibility around the site. Existing north entry stoop replaced with wood stairs, stoop, fencing, and upper stair to existing low roof, which will have portion decked over for access to entry. Modified hardscape and new fence and gate at southwest corner to create Faculty Deans’ patio area. Removal of existing non-historic shed at northeast corner.

# Neighborhood Plan

Adams House Renewal

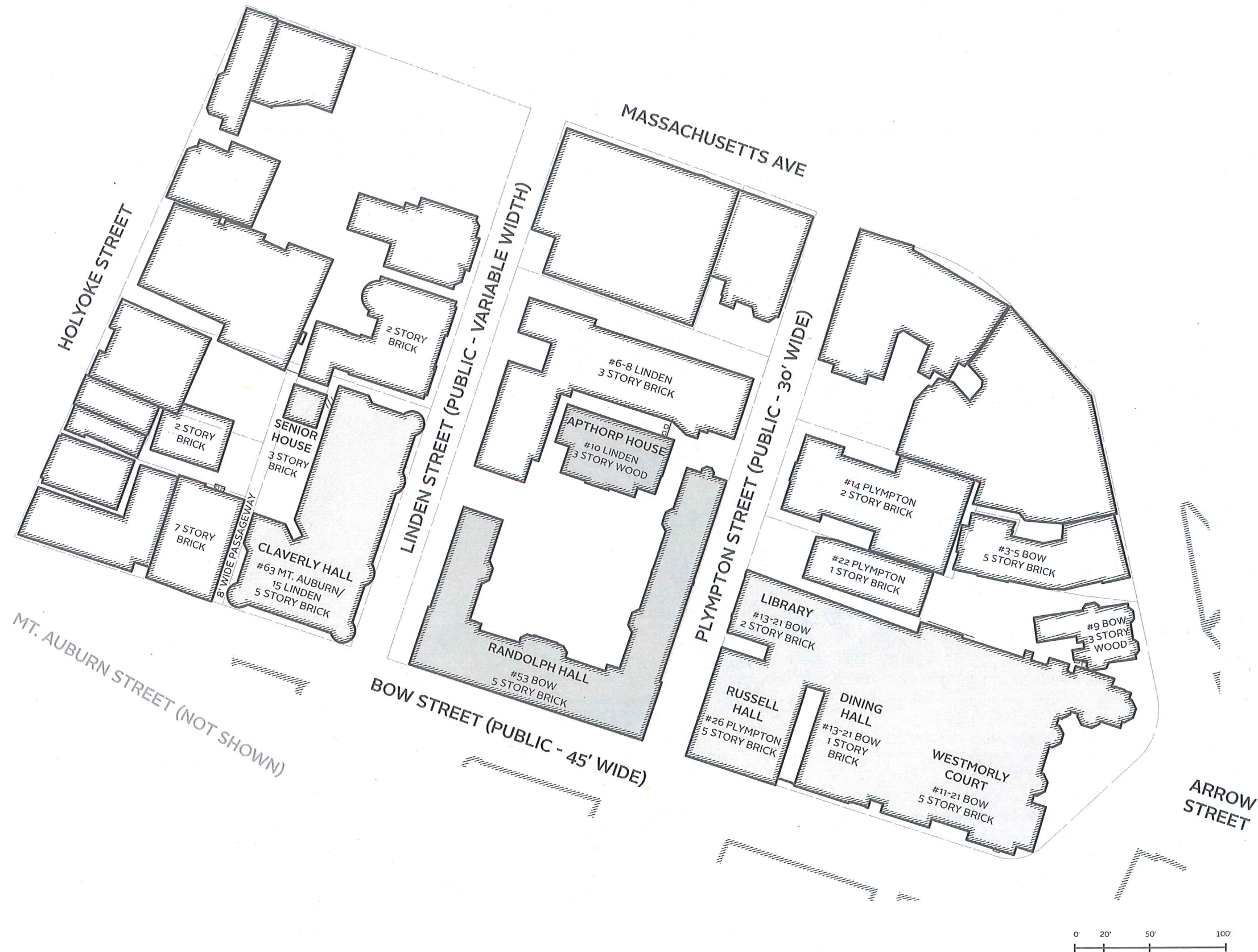


— HARVARD SQUARE NEIGHBORHOOD CONSERVATION DISTRICT



# Plot Plan

Adams House Renewal



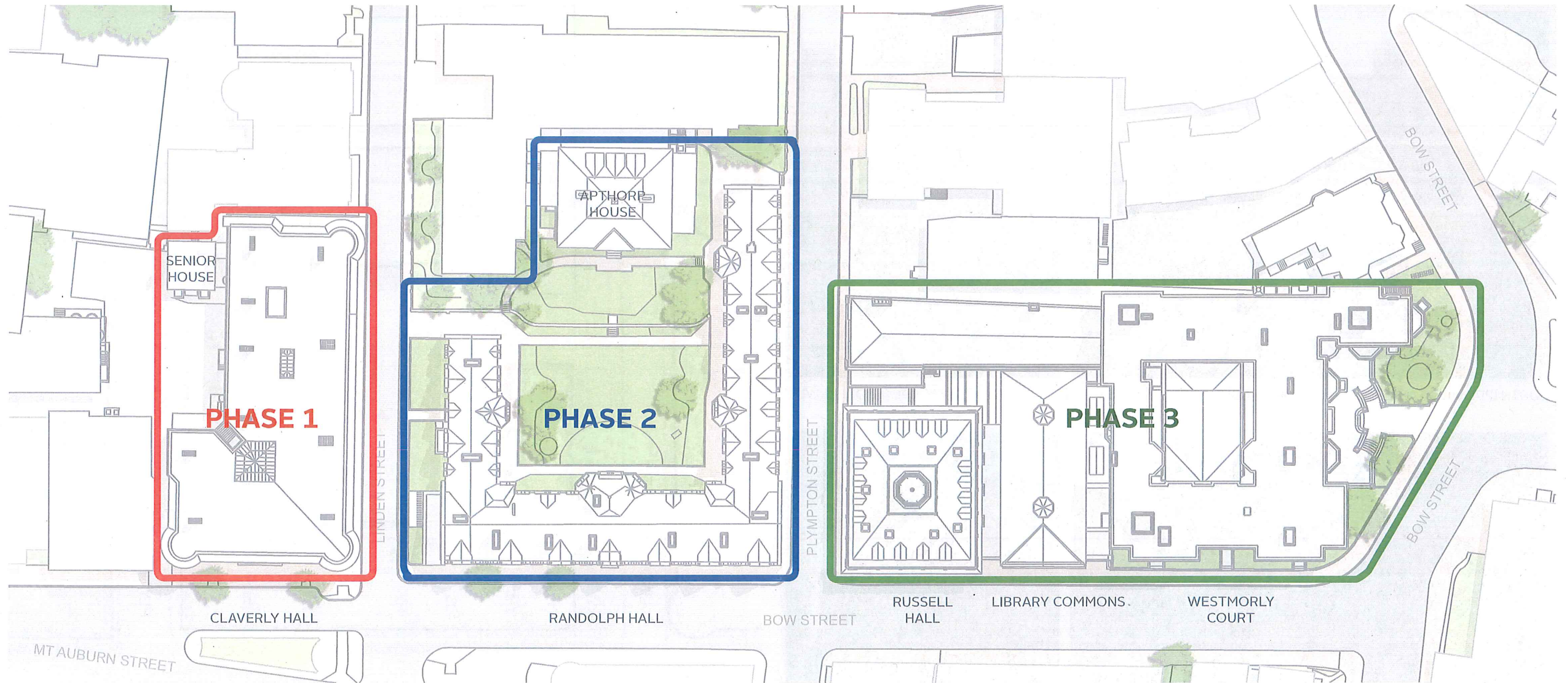
The buildings comprising Adams House are situated across three city blocks bounded by Bow Street to the south and east, Holyoke Street to the west, and Massachusetts Avenue to the north. All of Adams House falls within the boundaries of the Harvard Square Neighborhood Conservation District.

On the western block are Claverly Hall with Senior House. The middle block contains Randolph Hall and Apthorp House. The eastern block contains Russell Hall, the Dining/Library Commons Building, and Westmorly Court.

This application concerns renovations to Apthorp House, shown in a darker tone. Randolph Hall, also in a darker tone, is the subject of a separate but concurrent filing.

# Phasing Plan for Permitting and Construction

Phase 2 - Apthorp House



**PHASE 1: CLAVERLY/SENIOR HOUSE**

IN CONSTRUCTION:  
JUNE 2019 - JULY 2020

TO OPEN AUGUST 2020

**PHASE 2: RANDOLPH AND APTHORP**

RANDOLPH ADV. WORK  
JUNE 2019 - AUG 2019

APTHORP CONSTRUCTION  
AUGUST 2019 - JULY 2021

RANDOLPH MAIN WORK  
JUNE 2020 - JULY 2021

TO OPEN AUGUST 2021

**PHASE 3: RUSSELL, LIBRARY-COMMONS,  
AND WESTMORLY COURT**

IN CONSTRUCTION:  
JUNE 2021 - JULY 2023

TO OPEN AUGUST 2023

The construction of Adams House Renewal is planned to be sequenced over three phases, running west to east, with each phase corresponding to a single city block.

This application concerns Apthorp House, which is part of Phase II. Phase II also consists of renovations to Randolph Hall, and the enclosed courtyard between Randolph and Apthorp.





# Photo Survey - Existing Conditions

Phase 2 - Apthorp House



SOUTH (PRIMARY) FACADE VIEWED FROM RANDOLPH COURTYARD



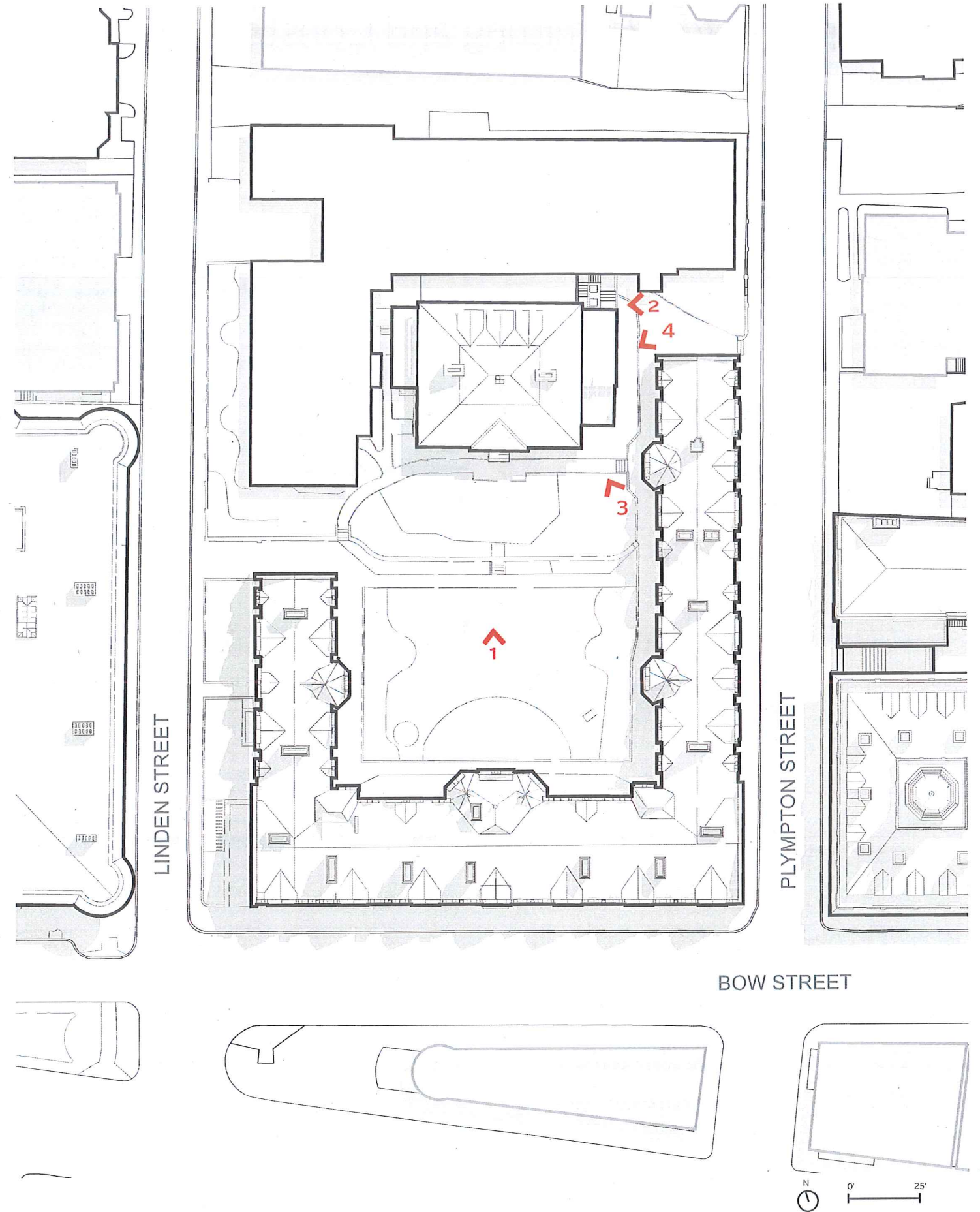
VIEW OF NORTH FACADE (LOOKING WEST)



VIEW OF 1931 CONSERVATORY (LOOKING NORTHWEST)



VIEW OF EAST FACADE (LOOKING WEST)



# Demo and Proposed Elevations - South and East

Phase 2 - Apthorp House



EXISTING/DEMO SOUTH ELEVATION



EXISTING/DEMO EAST ELEVATION

ATTIC

THIRD FLOOR

SECOND FLOOR

FIRST FLOOR



PROPOSED SOUTH ELEVATION

NEW HANDRAILS  
NEW GRANITE STOOP TO MATCH  
1908 GRANITE FOUNDATION

NEW GRANITE PLINTHS BELOW  
EXISTING PILASTERS (TYP)

1931 CONSERVATORY - SLOPED  
GLAZING REPLACEMENT:  
MULLIONS TO ALIGN WITH  
VERTICALS BELOW

1931 CONSERVATORY: WALL  
RESTORATION AND SASH  
REPLACEMENT



PROPOSED EAST ELEVATION

ATTIC

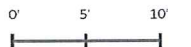
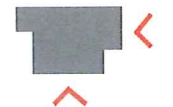
THIRD FLOOR

SECOND FLOOR

FIRST FLOOR

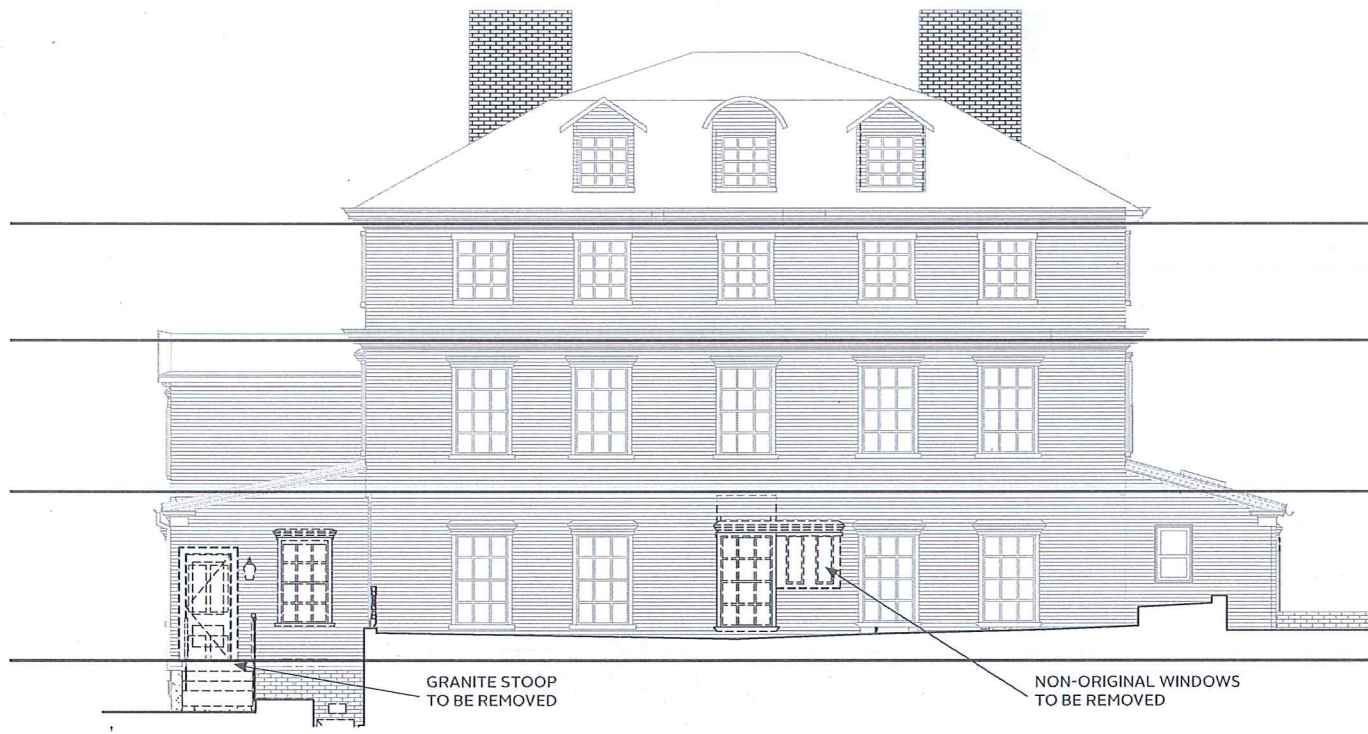
NEW WOOD-CONSTRUCTION  
STOOP, STAIR, AND FENCE

LOWERED GRADE FOR  
ACCESSIBILITY



# Demo and Proposed Elevations - North and West

Phase 2 - Aphthorp House



EXISTING/DEMO NORTH ELEVATION



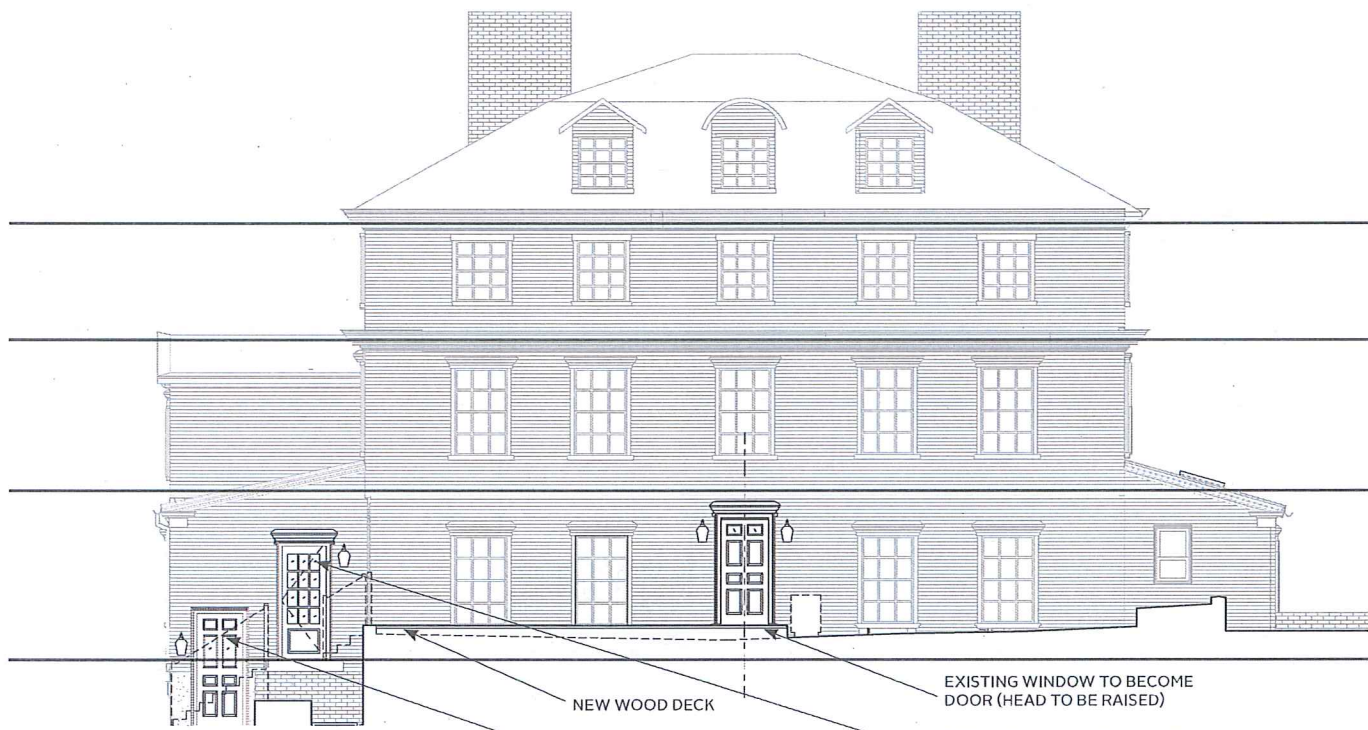
EXISTING/DEMO WEST ELEVATION

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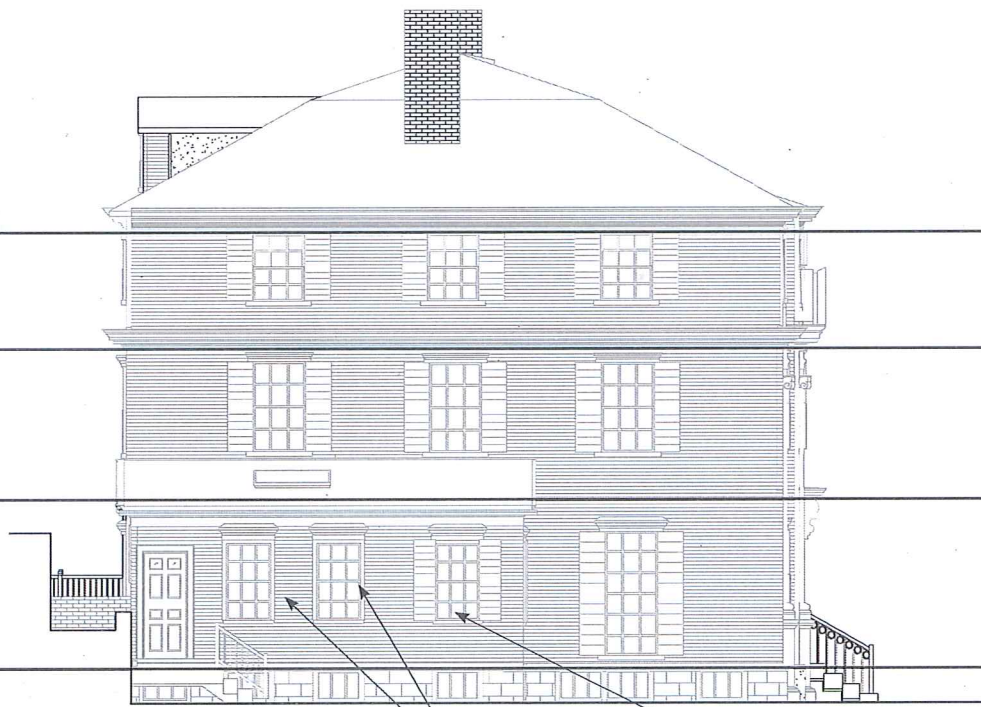
THIRD FLOOR

SECOND FLOOR

FIRST FLOOR



PROPOSED NORTH ELEVATION



PROPOSED WEST ELEVATION

ATTIC

THIRD FLOOR

SECOND FLOOR

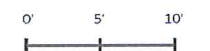
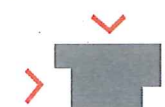
FIRST FLOOR

NEW WOOD DECK  
NEW DOOR FOR ADA  
LIFT ENTRY

EXISTING WINDOW TO BECOME  
DOOR (HEAD TO BE RAISED)  
EXISTING WINDOW TO BECOME  
DOOR (EXG HEAD MAINTAINED)

SHUTTERS REMOVED ON  
WINDOWS DUE TO CONFLICT

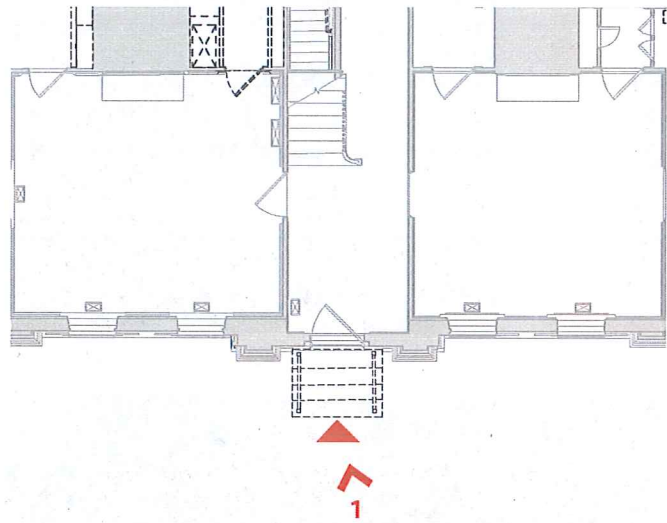
BLIND PANEL REMOVED  
AND REPLACEMENT WITH  
DOUBLE-SASH WINDOW



# South Elevation: Stonework & Railings

Phase 2 - Apthorp House

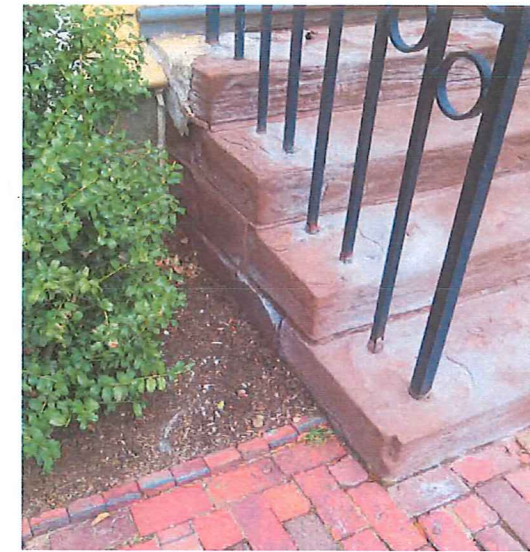
The historic front entry of Apthorp is the only extant original entry to the building; the east and west rear entrance doors lead into single-story wings that are believed to have been added in the nineteenth century and were modified again in the early twentieth century. Due to the negative visual impact of adding an exterior structured ramp in this location, it was determined to address accessibility at the northeast entrance (a MAAB variance has been granted).



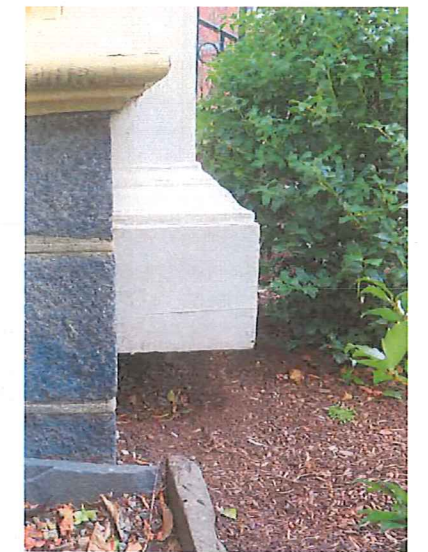
Proposed changes to the south entry include the replacement of the existing brownstone stoop, made of monolithic tread units, with the same geometry in granite to match the foundation stone. The existing stoop is heavily deteriorated and is in an increasingly unstable condition. The provenance of the stoop is not known, but may date at least as far back as the nineteenth century and could have been relocated with the home when it was moved south and east onto its present granite foundation in 1908.

In addition, the metal railings, which appear to date from the twentieth century, are to be replaced with a much simpler design of two painted metal posts to each side supporting a painted metal handrail. The proposed round posts and traditional handrail profile with lamb's tongue terminations at each end are thought to be a sympathetic and quiet addition to the entry.

Lastly, the existing wood pilasters, which would likely have made contact with the ground originally (see the Longfellow House), hang in mid-air, probably since the 1908 house relocation and regrading. New plinths in granite to match the existing foundation are proposed to be added beneath the pilasters to correct this condition.



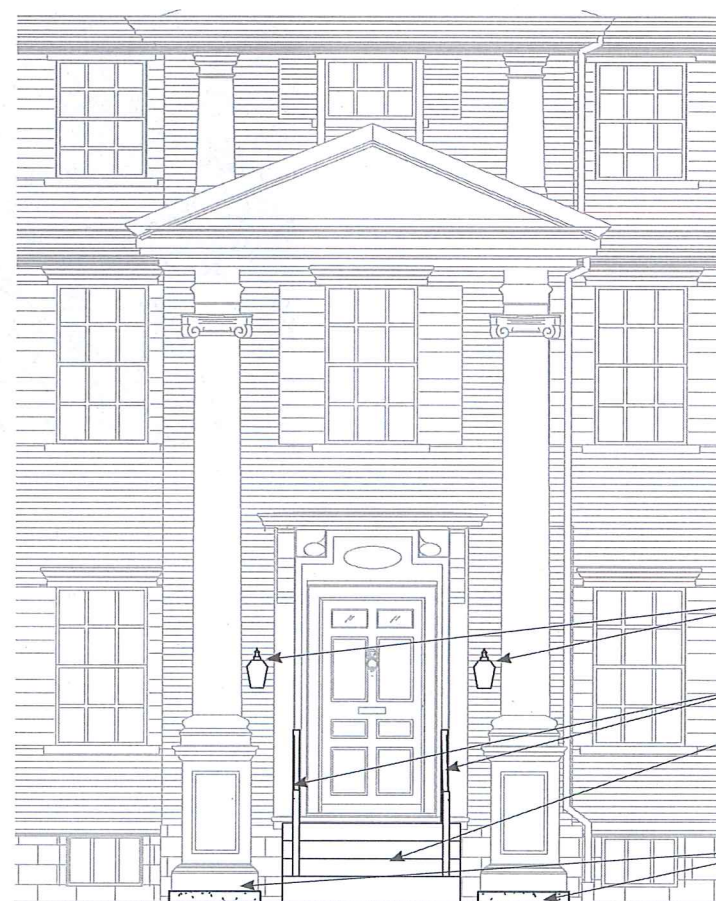
STOOP CONDITIONS - DETERIORATING SANDSTONE STEPS WITH VOIDS



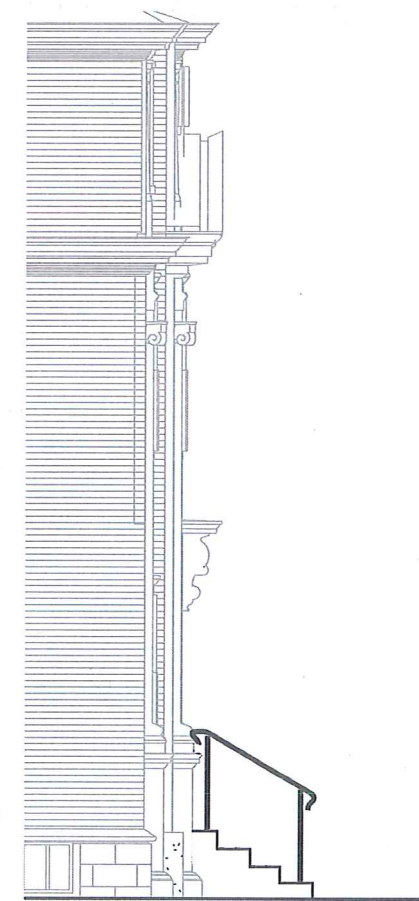
"FLOATING" PILASTER



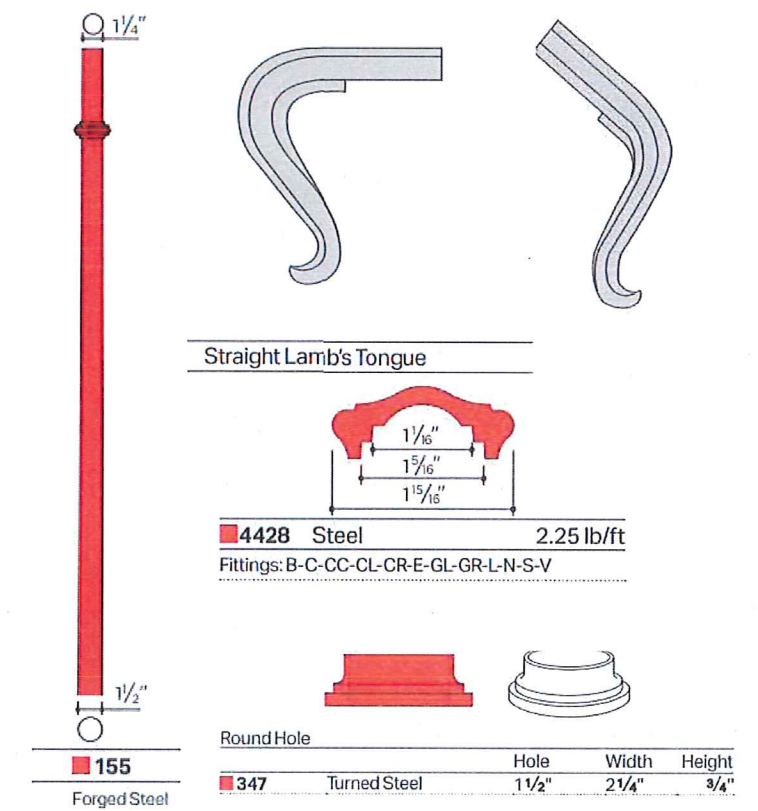
EXISTING ENTRY



PROPOSED ENTRY ELEVATION



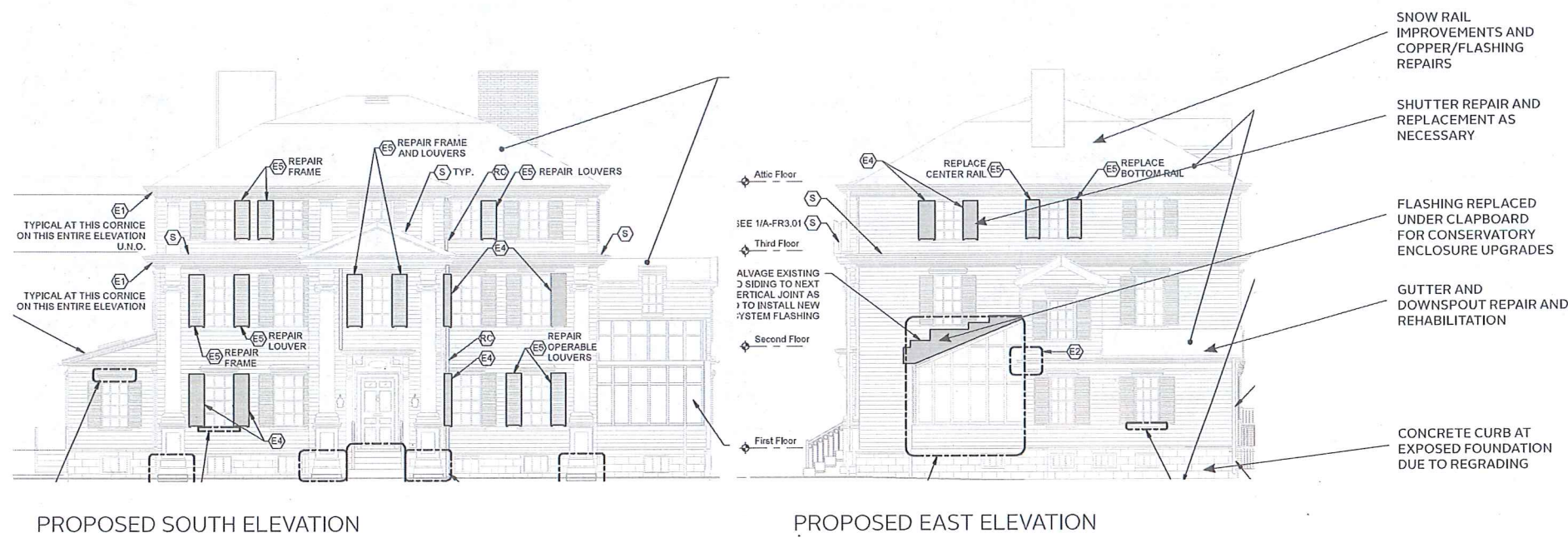
STOOP ELEVATION (LOOKING EAST)



PROPOSED HANDRAIL DETAILS (JULIUS BLUM & CO.)

# Envelope Restoration

Phase 2 - Apthorp House



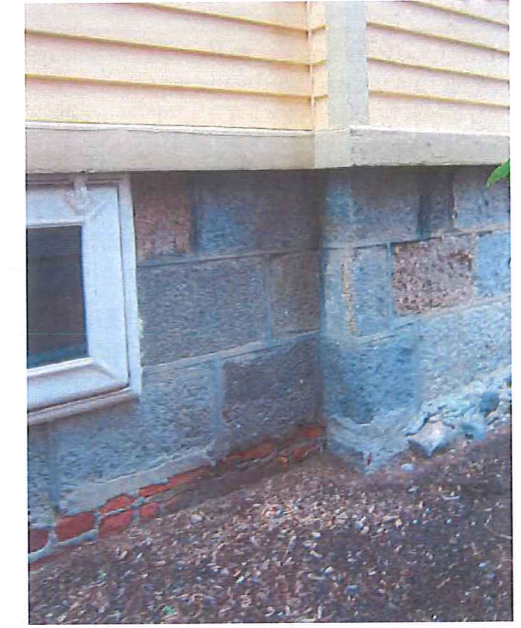
PROPOSED SOUTH ELEVATION

PROPOSED EAST ELEVATION

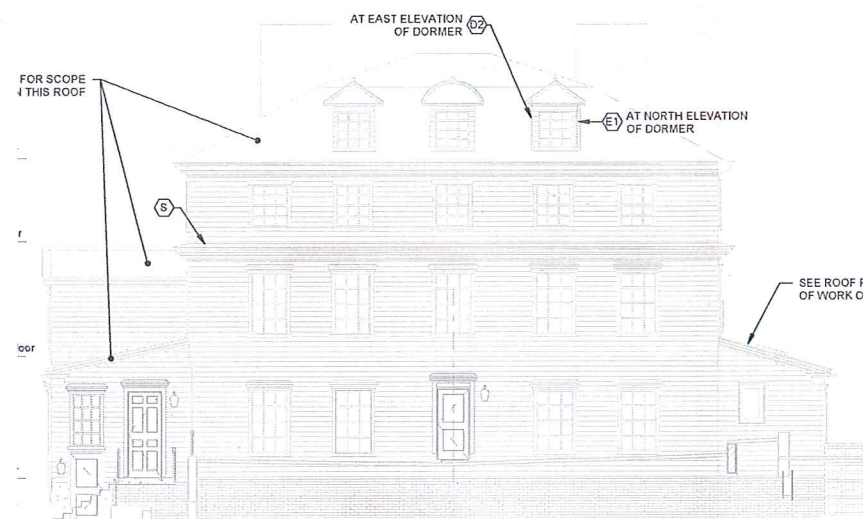
- SNOW RAIL IMPROVEMENTS AND COPPER/FLASHING REPAIRS
- SHUTTER REPAIR AND REPLACEMENT AS NECESSARY
- FLASHING REPLACED UNDER CLAPBOARD FOR CONSERVATORY ENCLOSURE UPGRADES
- GUTTER AND DOWNSPOUT REPAIR AND REHABILITATION
- CONCRETE CURB AT EXPOSED FOUNDATION DUE TO REGRADING



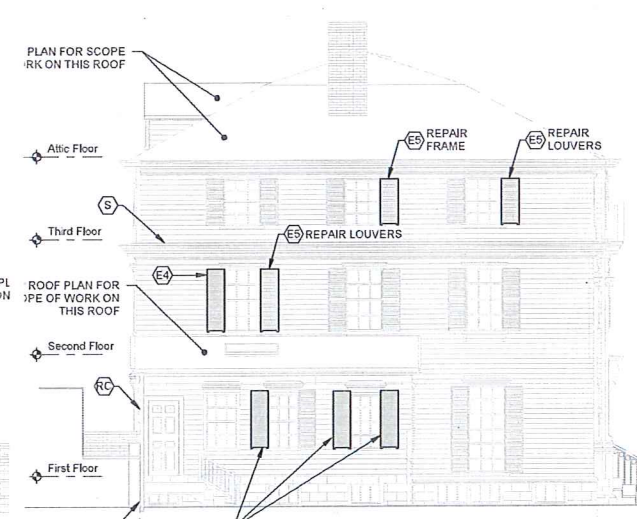
SHUTTER DETERIORATION



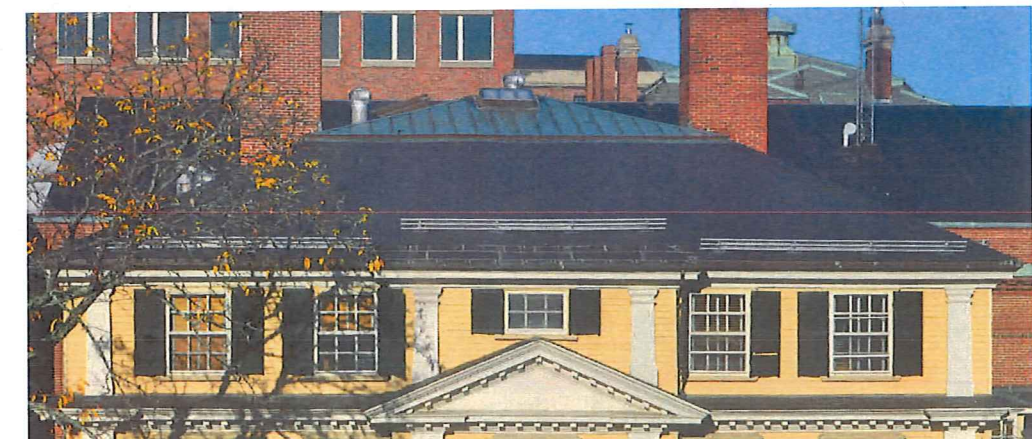
ASHLAR AND RUBBLE FOUNDATIONS



PROPOSED NORTH ELEVATION



PROPOSED WEST ELEVATION



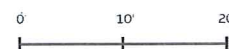
COPPER AND SLATE SHINGLE ROOF

The exterior restoration scope at Apthorp is to be carefully tailored to its specific building type, archaic construction, and important historic significance. Beginning with the masonry, the granite foundation from 1908 is in fairly good condition, requiring just cleaning and full repointing. By contrast, the upper portions of the chimneys are in poor condition due to sustained water infiltration and will be completely rebuilt from the attic floor upwards with salvage brick to the extent feasible.

In general, the wood elements on the envelope, consisting of clapboard siding and decorative elements such as pilasters, door surround and pediment, and window casing are in fair to good condition. There are four different vintages of clapboard siding, with much of it appearing to date back to the original construction (the third floor was added in the 1770s). Given the historic nature of the building, the wood siding will be retained in-place as much as possible, with localized rehabilitation or replacement occurring where deterioration dictates. One exception is the west dormer

on the north elevation, which is heavily deteriorated and will be rebuilt. All surfaces shall be prepared and painted. The level of preparation needed for all wood surfaces will be determined based upon testing and analysis in progress. The shutters, which date to the nineteenth century, are generally in fair condition and will be restored where feasible but some will require replacement in-kind.

The slate and copper roofing and snow rails have largely been replaced with the last two decades and are in fair to good condition, requiring only localized rehabilitation. Ice and snow fall has been a recurring issue and additional snow rails will be added. The copper gutters and downspouts are not original to the building and are located only on the south elevation of the main roof and selected eaves of the First Floor wings. Existing gutters and downspouts are in fair to good condition and will be repaired as required, with new gutters and downspouts where missing.

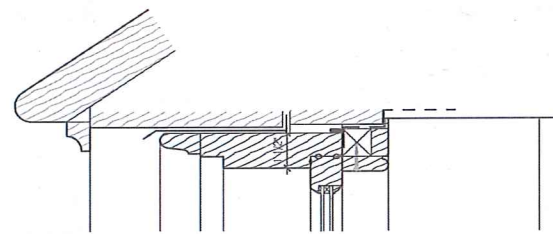


# Window Scope

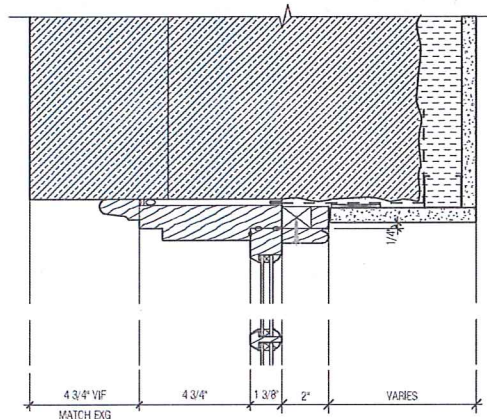
Phase 2 - Apthorp House



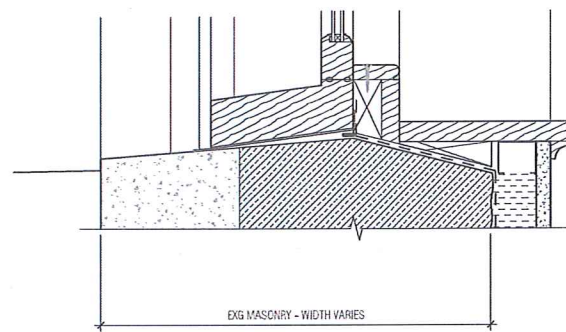
TYPICAL BASEMENT WINDOW OPENING



HEAD DETAIL



JAMB DETAIL



SILL DETAIL

## APPROACH TO 1908 BASEMENT WINDOWS: FRAME AND SASH REPLACEMENT WITH FIXED IGUs

The Apthorp basement windows are typically hopper windows, and almost certainly date to the 1908 relocation of the house when it was moved south and east and set on new granite foundation walls. Significant deterioration has been observed on a number of basement windows because of their proximity to the surrounding grade.

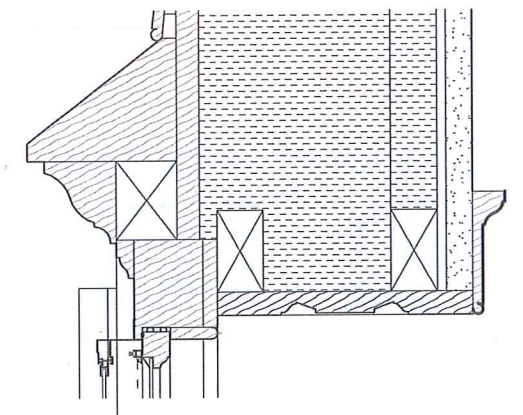
The proposed approach for the Apthorp basement windows is full frame and sash replacement. The new profiles would be similar to existing, with modifications only as required to incorporate double-glazed IGUs in a fixed-sash configuration (the hopper function no longer being necessary nor desirable for a weathertight envelope).



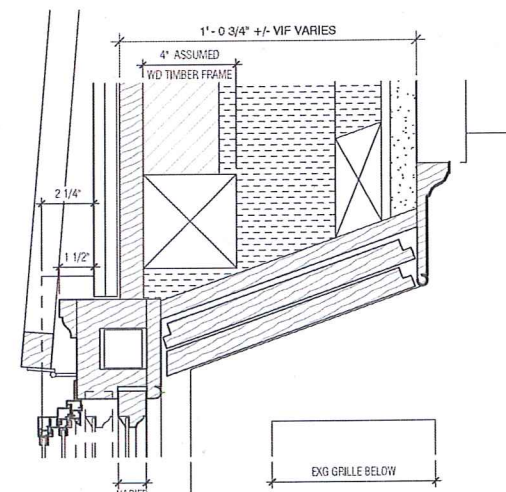
TYPICAL EXISTING SASH WINDOW



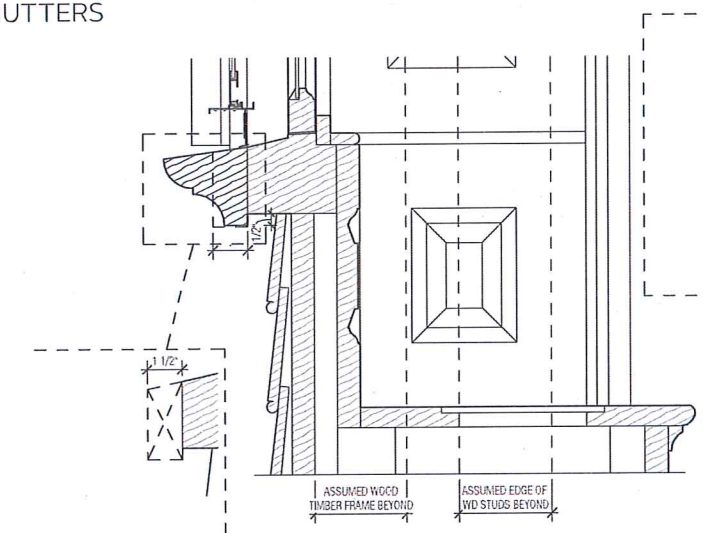
EXISTING WINDOW INTERIOR WITH ORIGINAL POCKETED SHUTTERS



HEAD DETAIL



JAMB DETAIL



SILL DETAIL WITH ALTERNATE DRIP PROFILE

## APPROACH TO HISTORIC WINDOWS: FRAME AND SASH RESTORATION, GLASS SALVAGE, EXTERIOR STORM REPLACEMENT

The typical windows at Apthorp floors one thru attic are wood frames with wood sashes which contain single-glazed lites divided by muntins. Non-original aluminum storm windows are on the exterior. The configuration is double-hung, but only the lower sashes are operable. From probed locations, frames generally appear to be original to the era construction (1760-1770s for the central mass of the house; later for the single-story wings), although due to changes over time, some locations may have been replaced in-kind.

Most of the glass appears to be nineteenth century or older. Sills, frames, and sashes are generally in fair condition, with areas of deterioration. The window scope will entail frame, sill, and sash restoration, with glass salvaged and re-puttied into place. Non-original sill drip-edges will be replaced with the original profile. New, lower-profile storm windows will replace the existing ones on the exterior. Interior storms were studied, but the presence of interior pocketed panel shutters makes interior storms infeasible in a number of locations.

# 1931 Conservatory: Restoration Scope

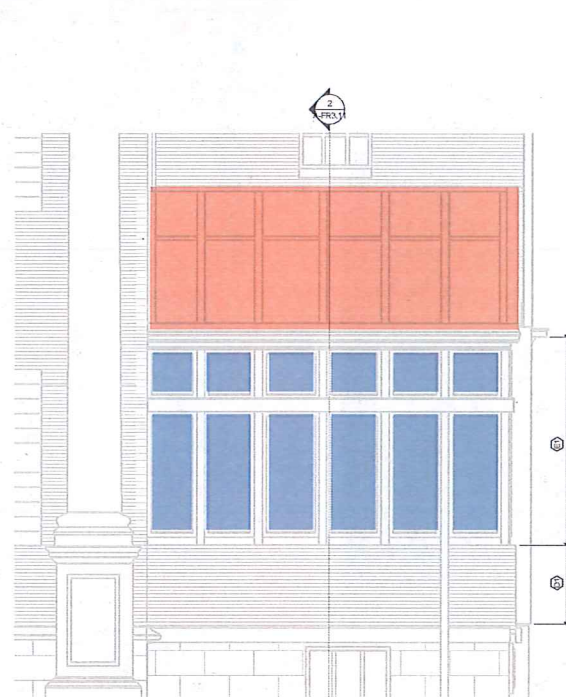
Phase 2 - Aphthorp House

- NEW GLAZING SYSTEM - GEOMETRY SIM TO EXG
- CASEMENT SASH REPLACEMENT WITH MODIFIED PROFILES TO ACCOMMODATE DOUBLE-GLAZED UNITS - SIM TO EXG



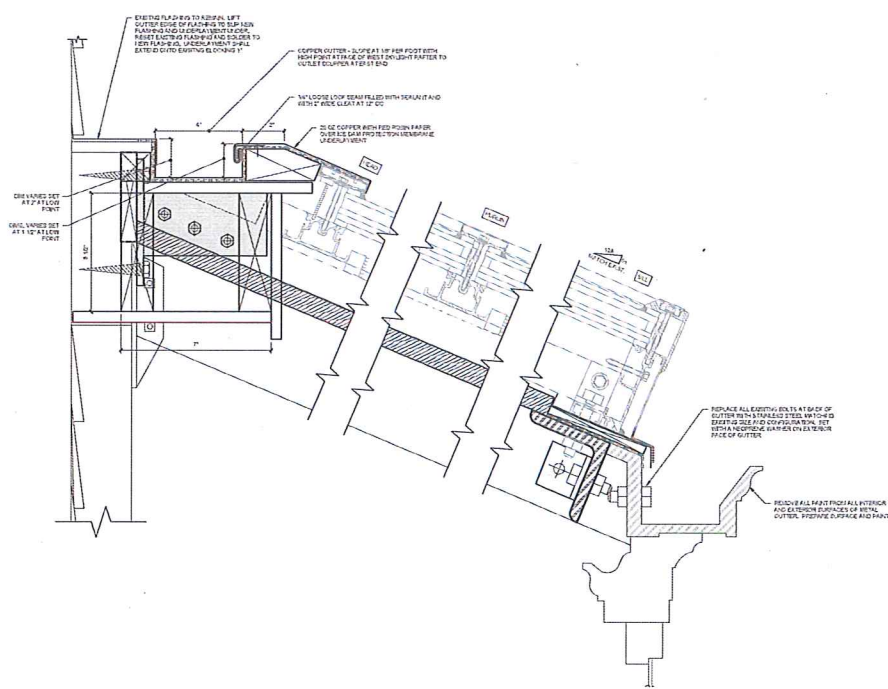
3 EAST ELEVATION - CONSERVATORY  
1/2" = 1'-0"

CONSERVATORY EAST ELEVATION

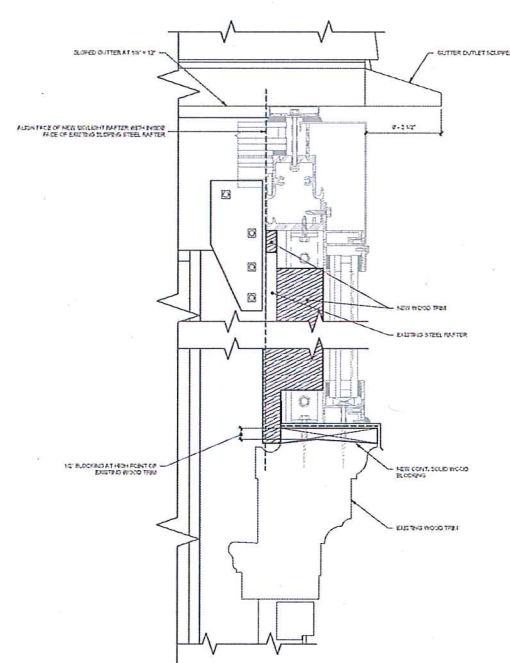


4 SOUTH ELEVATION - CONSERVATORY  
1/2" = 1'-0"

CONSERVATORY SOUTH ELEVATION



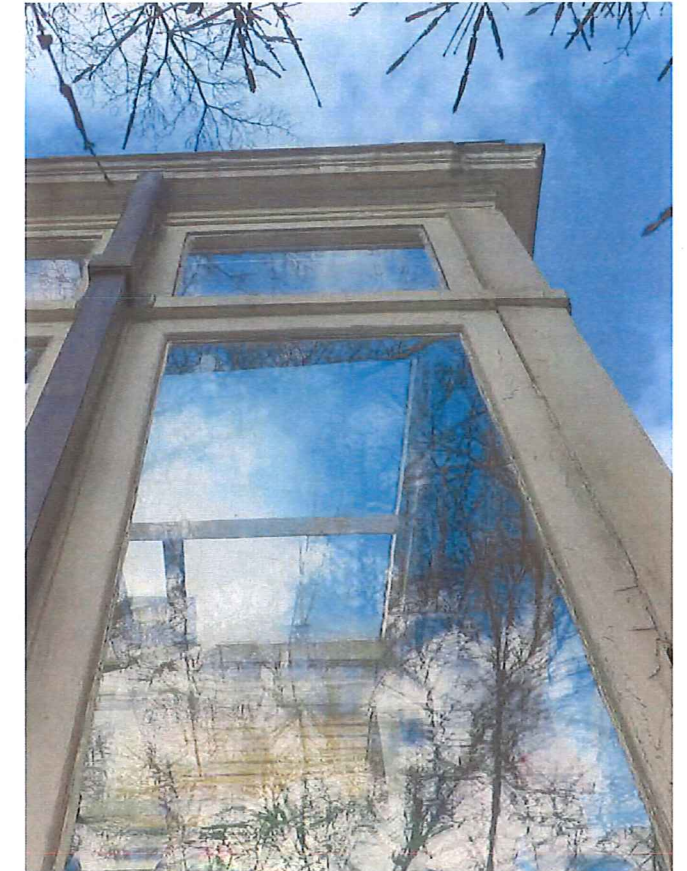
CONSERVATORY ROOF SECTION



CONSERVATORY ROOF SECTION



VIEW OF CONSERVATORY FROM THE SOUTHEAST



HISTORIC 1930'S ENCLOSURE

The Aphthorp Conservatory was added in 1931 by Coolidge, Shepley, Bulfinch & Abbot when Aphthorp was converted to the Master's Residence with the establishment of Adams House. It took the place of an earlier covered porch. The conservatory construction is a wood and glass system with light steel framing and wood window sashes that are mostly fixed except for four casements.

The vertical walls of the conservatory up to the cornice are in fair condition, and it is proposed to do localized restoration. However,

the wood sashes (both fixed and operable casement) contain single-glazed lites; it is proposed to replace all sashes with new sashes of a modified profile which can accommodate double-glazed IGUs.

The sloped glazing of the Conservatory roof, as well as the triangle of vertical wall above the cornice, is in poor condition and is slated for full replacement. The new design will be similar in appearance to what exists now and will rely on the existing steel T-shaped purlins for structure as the existing glazing does.

# North Elevation: New Accessible Lift Entry and Library Door

## Phase 2 - Apthorp House

During design, it was determined that establishing accessibility at the south facade would have an unduly negative impact on its historic appearance. Instead, accessibility to the first floor of the building could best be achieved with a lift within the single-story east wing, which is not original and dates to the late-nineteenth century. This entry location will be on a direct, barrier-free route from Plympton Street. A variance for this approach to achieving accessibility has been granted

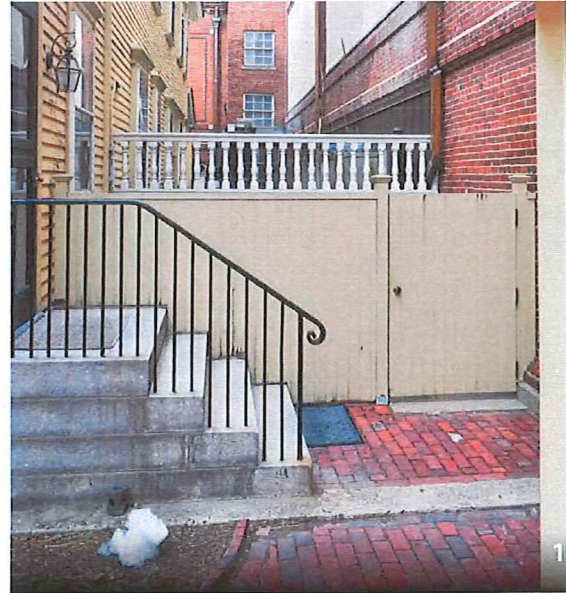
by MAAB. The new lift door on the north elevation will be detailed to match the profiles of the existing door to be demolished.

For user functionality, an "upper" door is still desired in this area which gives direct access to the interior without having to ride the lift. It is important to note that the northeast quadrant of Apthorp's first floor underwent significant modification in the 1930s to create the Adams Master's (now Faculty Deans') Study. The original wall of

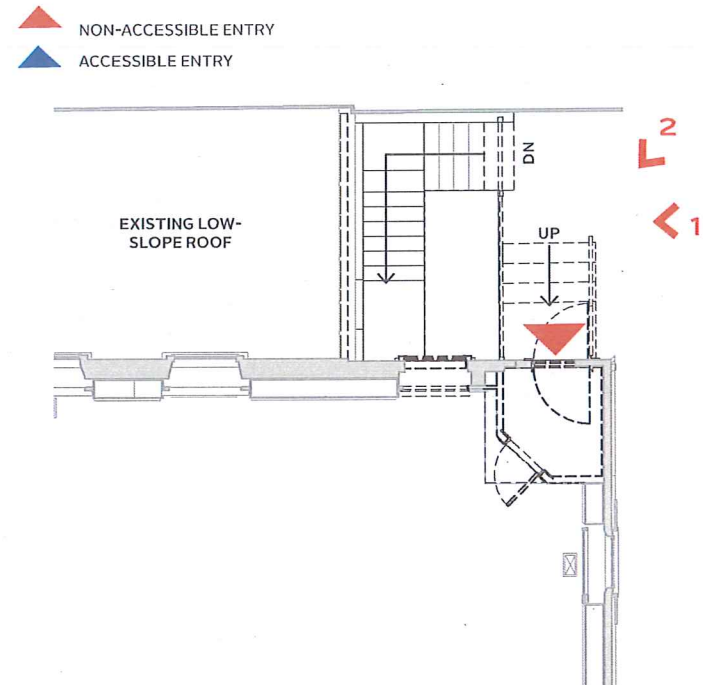
the house was removed at this floor to create a single, larger space. As such, this room dates to the 1930s in its proportions and interior finishes. A small entry vestibule in the northeast corner of the room will be replaced by the interior ADA lift. The existing window in this single-story east wing will be converted into the replacement "upper" door, which will be glazed and detailed to match the window it replaces. The existing head and cornice detail remain unchanged.

A new painted wood stair and landing is proposed to give access to the new upper door. Wood will permit better material integration with the adjacent wood fencing to be replaced, as well as a second stair run which leads up to the low roof at the rear of Apthorp (see next page).

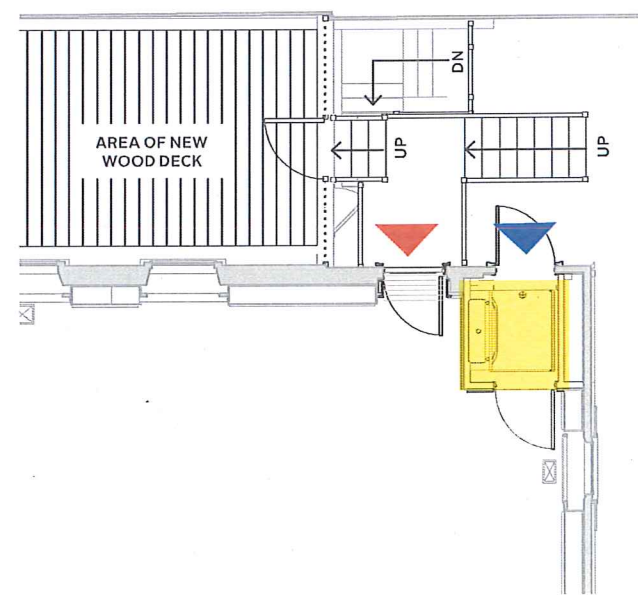
The basement areaway stair will remain mostly untouched. Modifications are limited to the top step due to the proposed change in grade at the foundation, a result of localized regrading for accessibility.



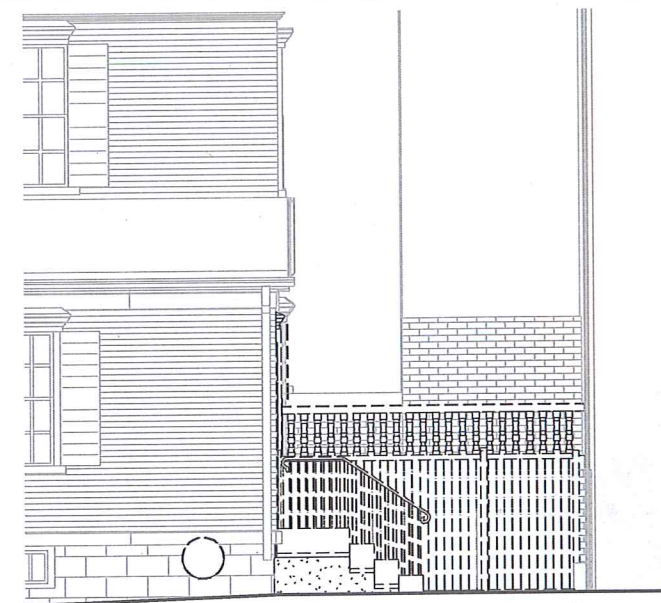
EXISTING CONDITIONS NORTH ENTRY



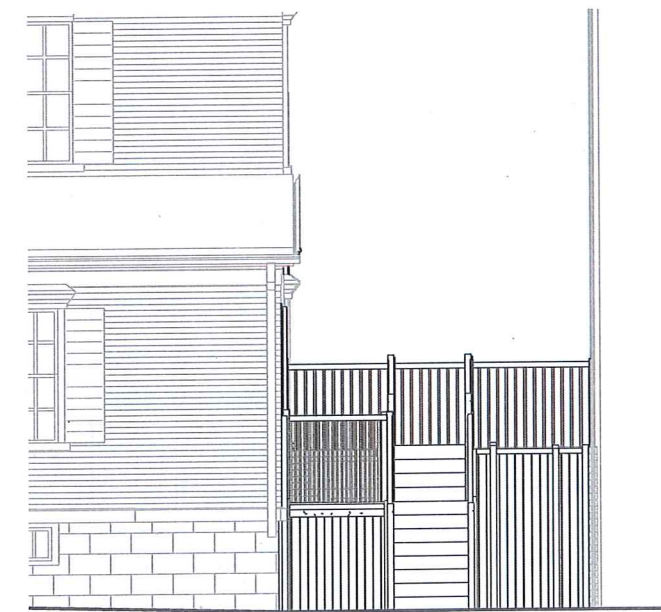
EXISTING/DEMO PLAN: NORTH ENTRY & STOOP



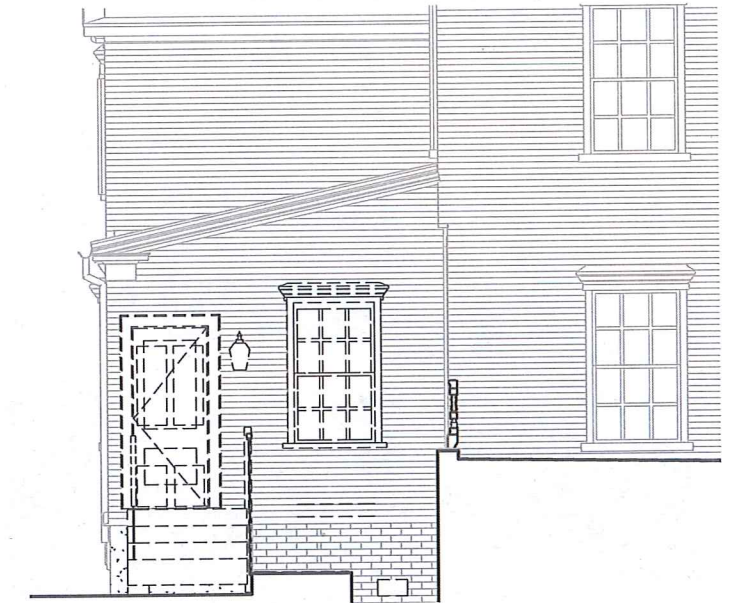
PROPOSED PLAN: ACCESSIBLE ENTRY AND DECK ACCESS



EXISTING EAST ELEVATION OF STOOP



PROPOSED EAST ELEVATION OF WOOD STOOP, STAIR, AND FENCING



EXISTING NORTH ELEVATION



PROPOSED NORTH ELEVATION AND STAIR SECTION





# North Elevation: New North Entry

## Phase 2 - Apthorp House

A third door on the north facade of Apthorp is needed to serve Apthorp affiliates in residence. This new entry would be accessed via the low roof directly behind Apthorp. The roof itself is part of Linden Street Studios (not part of Adams House and not in the project).

The new entry is at the center of the Apthorp facade, on-axis with the house and

in keeping with the Neo-Palladian original plan. This entry recalls the original entry here that was likely removed in the late-nineteenth century or perhaps as late as 1908 with the house move (see historic photograph below). A portion of the low roof will be decked over to reach this new entry. Profiles and detailing of the door and casing would match existing on the house.

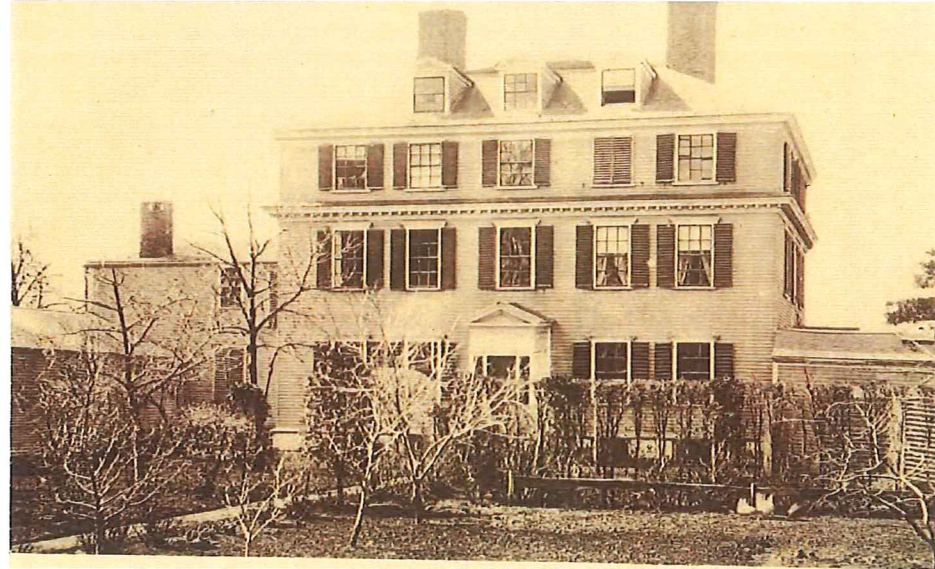
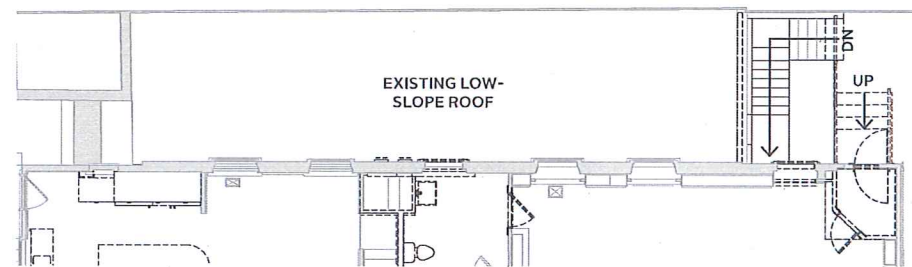
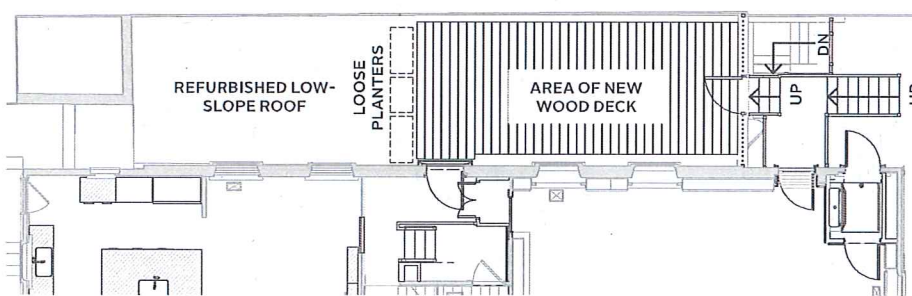


PHOTO OF APTHORP FROM MASSACHUSETTS AVENUE, C. 1880's



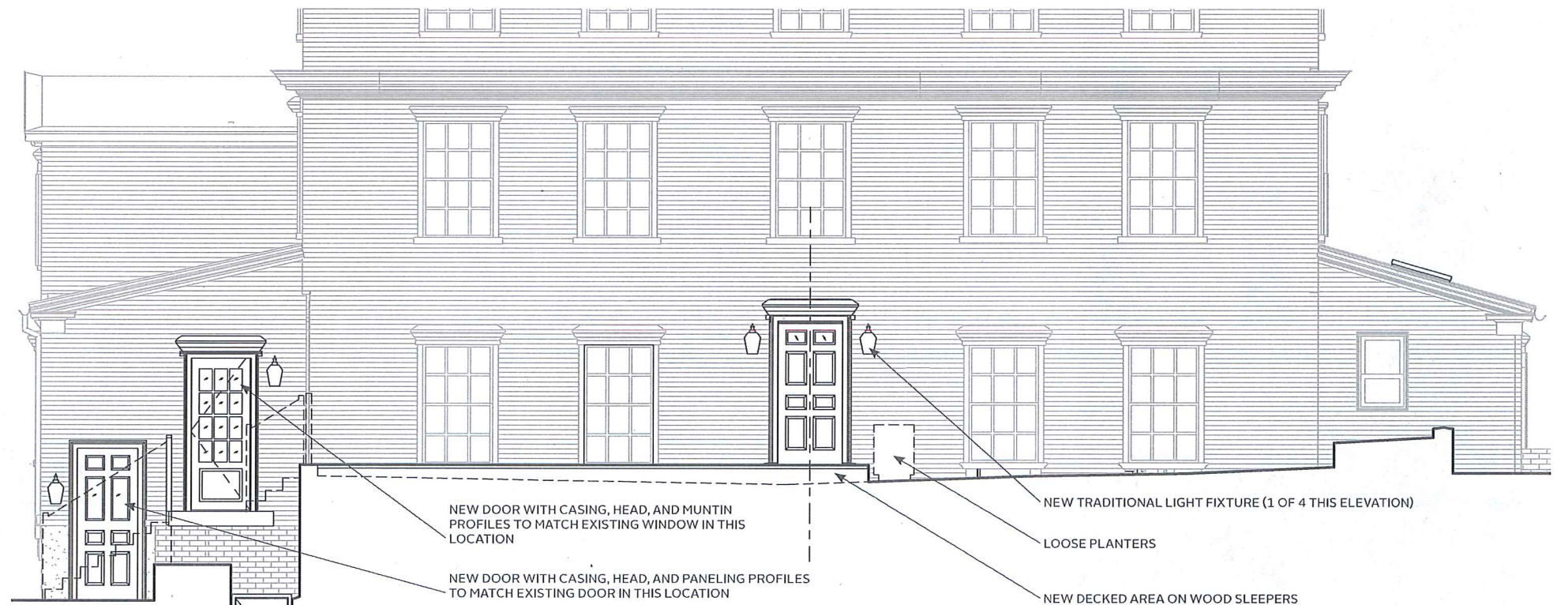
EXISTING/DEMO PLAN OF NORTH ROOF AND FIRST FLOOR



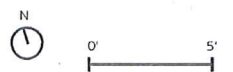
PROPOSED PLAN OF NORTH ROOF AND FIRST FLOOR



EXISTING/DEMO NORTH ELEVATION



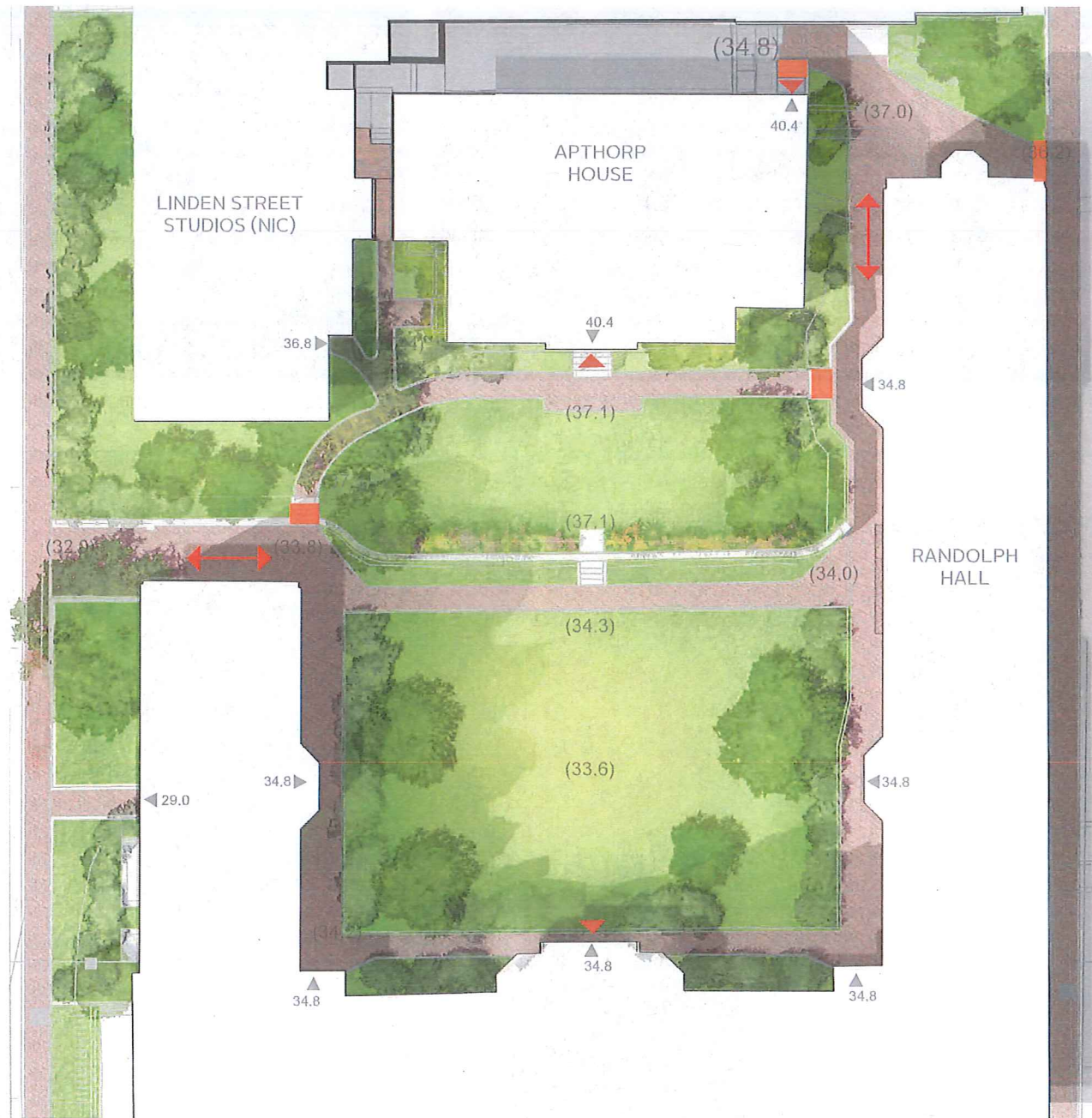
PROPOSED NORTH ELEVATION (NEW EXTERIOR STAIR RUNS UP TO ENTRIES SHOWN IN SECTION)



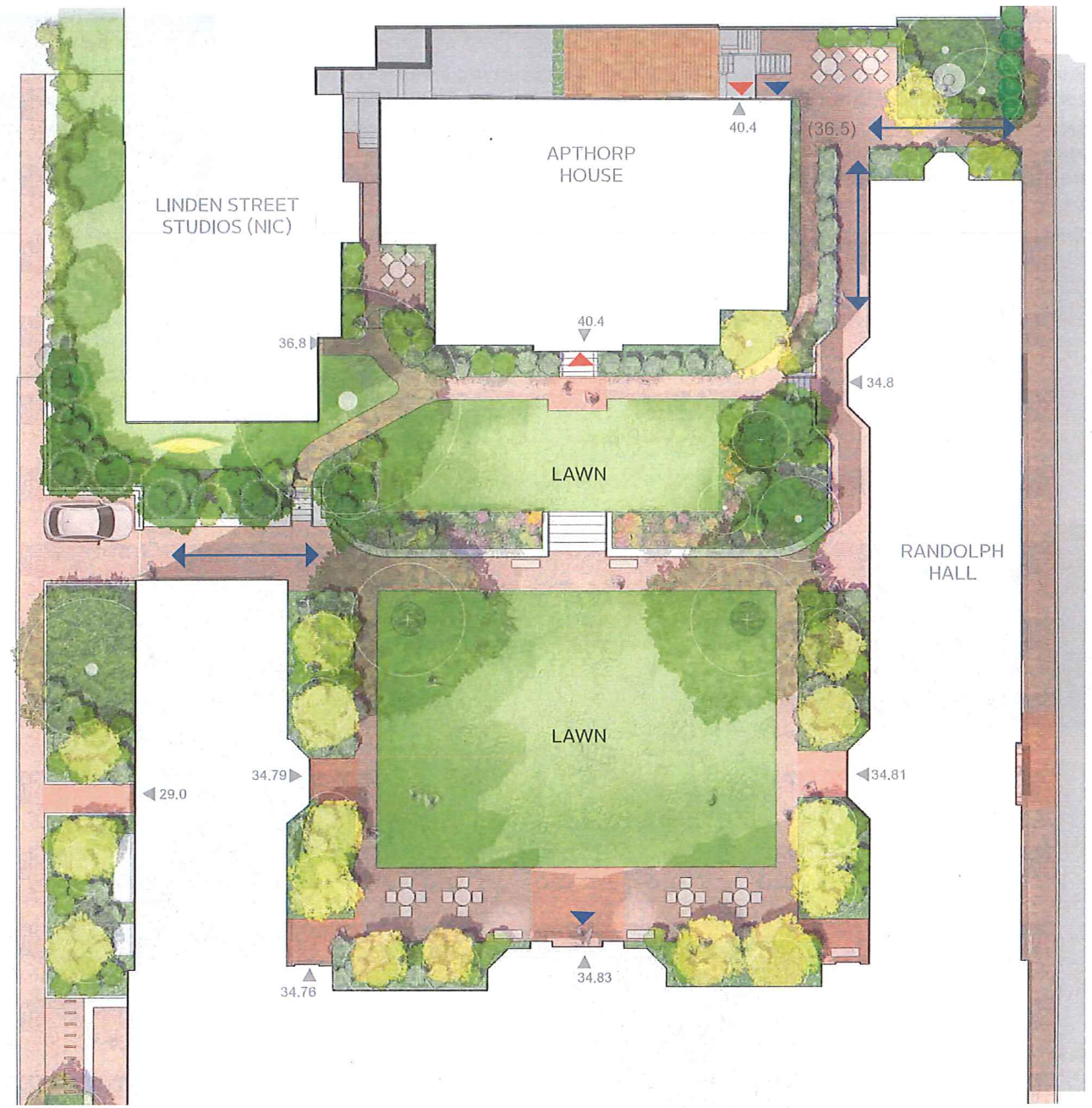
# Introduction to Landscape Changes

Phase 2 - Apthorp House

- ▲ NON-ACCESSIBLE ENTRY
- ▲ ACCESSIBLE ENTRY
- ↔ NON-ACCESSIBLE SLOPE
- ↔ ACCESSIBLE SLOPE
- NON-ACCESSIBLE STAIR



EXISTING LANDSCAPE CONDITIONS AT APTHORP AND RANDOLPH HALL



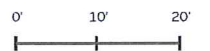
PROPOSED LANDSCAPE CONDITIONS AT APTHORP AND RANDOLPH HALL

The interior courtyard of Randolph, fronting Apthorp House, has several grade levels that are not accessible to each other, and there is no fully-accessible route into the courtyard from the city sidewalks that bound the property.

Proposed landscape changes include modifying the sidewalk-courtyard connections at the Linden and Plympton Street gates in order to make them accessible. This will include regrading in the vicinity of both gates to achieve compliant sloped paths, as well as removing

the two steps at the Plympton Street gate. Modifications will also be made to the landscape at the southwest corner of the house in order to create a private patio for the use of the Faculty Deans as well as their family and guests. The following two pages describe these changes in more detail.

A description of the modifications to landscape and site elements to the south within the courtyard proper is contained within the filing materials for Randolph Hall.



# Landscape: Accessibility at Apthorp & Plympton Street

## Phase 2 - Apthorp House

To establish a code-compliant accessible route to Apthorp and the Randolph courtyard from Plympton Street, several changes are required to the existing grades and site elements. Generally these are addressed in the Randolph Hall filing.

Here, it is important to note that the historical stone monument to Apthorp House which is engaged in the site wall will remain.

Moving closer to the house itself, a new path will wrap the east and southeast corner to

to make the upper courtyard lawn accessible. In order to achieve these compliant slopes, the grade along the Apthorp foundation wall will be lowered about 12 inches. Newly exposed foundation will be parged and a landscape berm will be placed up against the house.

-  NON-ACCESSIBLE ENTRY
-  ACCESSIBLE ENTRY
-  NON-ACCESSIBLE SLOPE
-  ACCESSIBLE SLOPE
-  NON-ACCESSIBLE STAIR



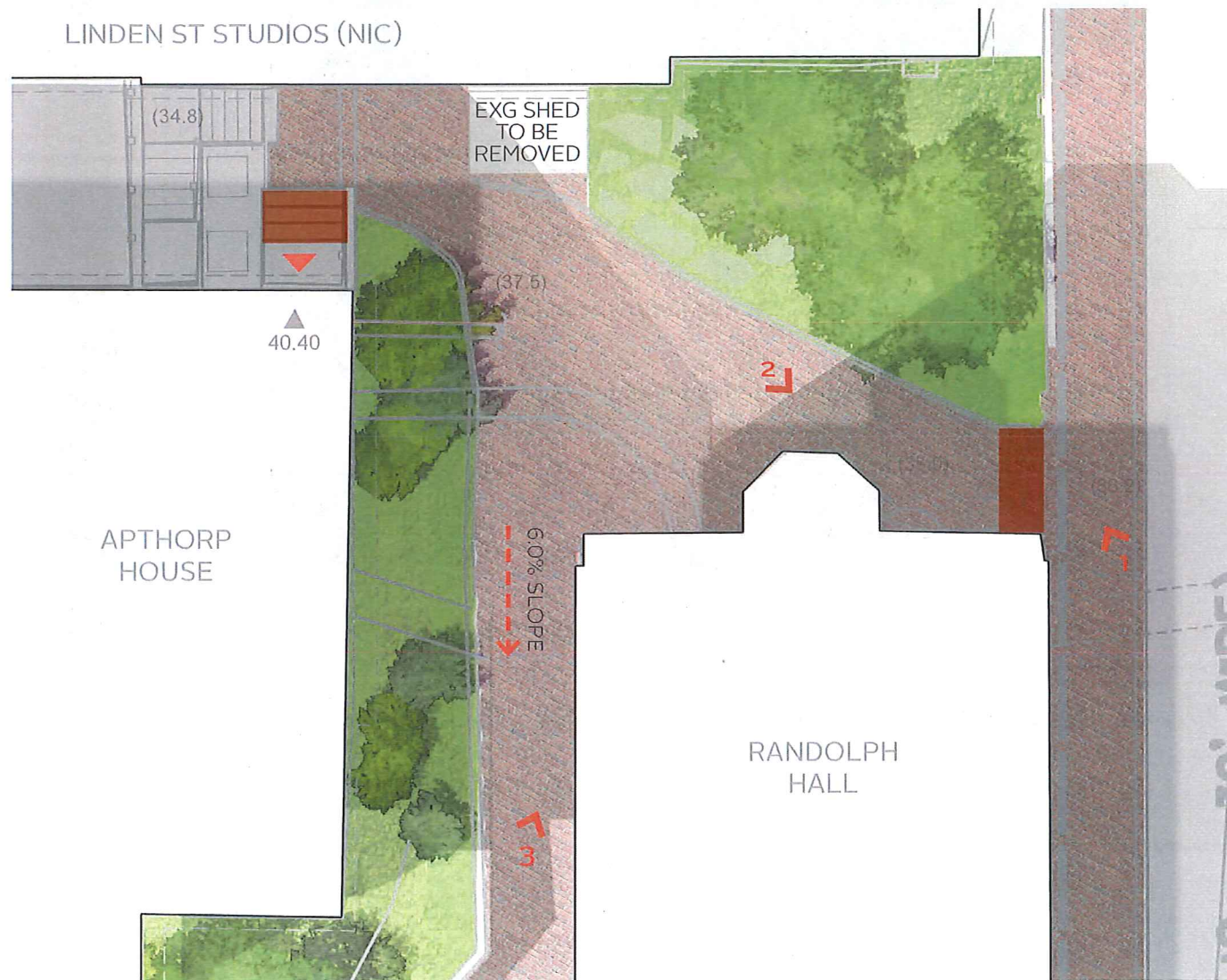
PLYMPTON STREET FENCE AND RETAINING WALL



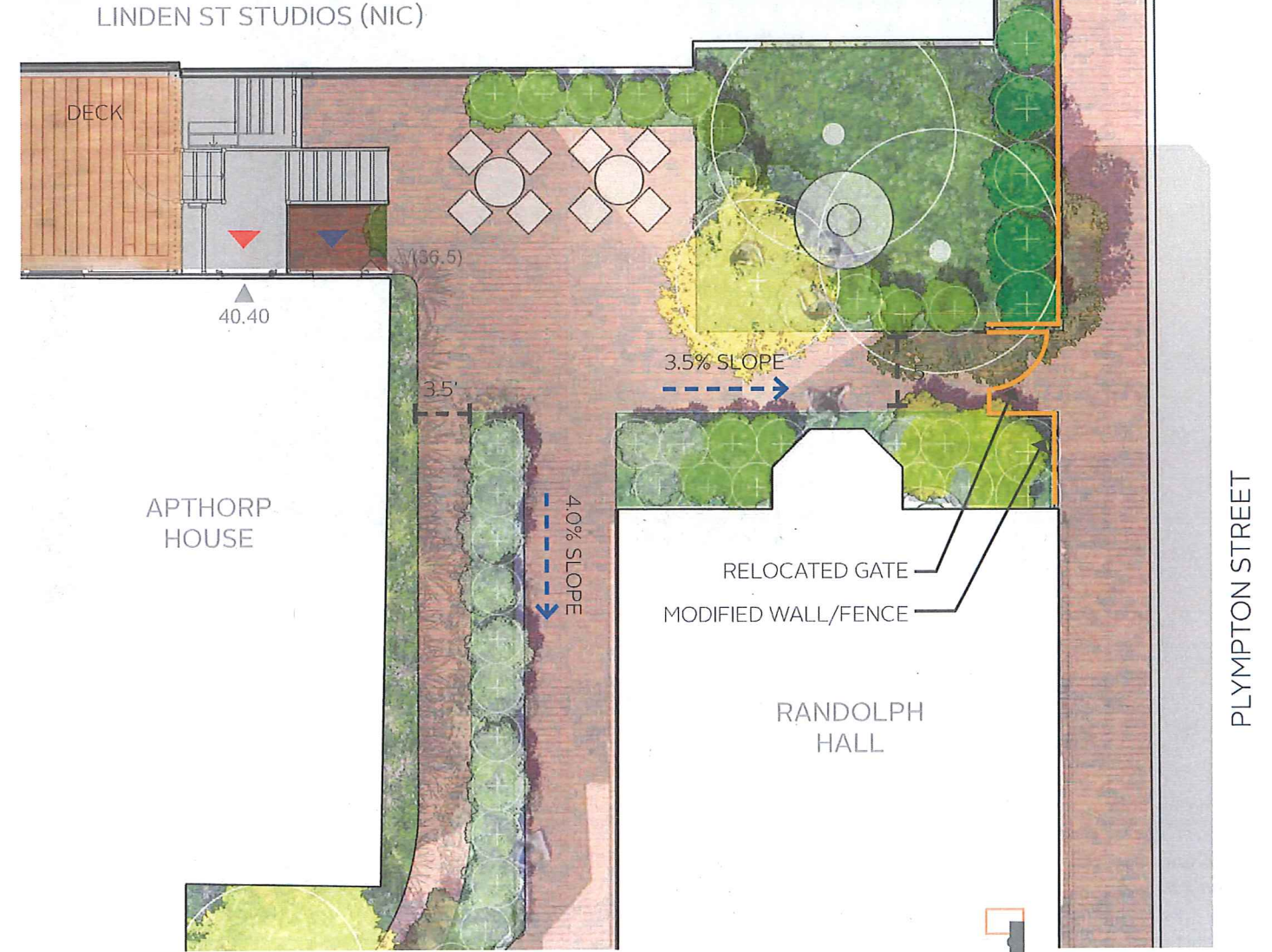
PLYMPTON GATE LOOKING SE



PATH ADJACENT TO RANDOLPH HALL



EXISTING LANDSCAPE ACCESS FROM PLYMPTON



PROPOSED ACCESSIBLE LANDSCAPE FROM PLYMPTON



# Landscape: Proposed Faculty Deans Patio

Phase 2 - Apthorp House

Along the west facade of Apthorp, adjacent to Linden Street Studios, changes to the hardscape and plantings are proposed in order to create a family patio. Proposed new or modified elements consist of a brick-paved patio (enlarging what is already existing in this location) and a new painted wood fence and gate. The fence will be strategically screened by plantings to minimize its visual impact. Its design will be in the traditional vocabulary of the building and it will relate to the new stoop, stairs, and fencing proposed at the northeast corner.

