

WARNING:

This document may not be secure, may be corrupted in transmission or due to software incompatibility and/or may be amended or altered by third parties after leaving Joe The Architect LLC's possession. Joe The Architect LLC is not responsible for and accepts no liability for such matters. Subject only to any conflicting provision within any prior binding agreement by Joe The Architect LLC (which agreement may also contain additional conditions relating to this document and its use):

1. the content of this document is confidential and copyright in it belongs to Joe The Architect LLC. They are permitted only to be opened, read and used by the addressee. 2. all users of this document must carry out all relevant investigations and

must examine, take advice as required and satisfy themselves concerning the contents, correctness and sufficiency of the attachment and its contents for their purposes. 3. to the extent permitted by law, all conditions and warranties concerning

this document or any use to which they may be put (whether as to quality, outcome, fitness, care, skill or otherwise) whether express or implied by statute, common law, equity, trade, custom or usage or otherwise are expressly excluded.

4. any person using or relying document releases and indemnifies and will keep indemnified Joe The Architect LLC against all claims, liabilities, loss, costs and expenses arising directly or indirectly out of or in connection with such use or reliance including without limitation any misrepresentation, error or defect in this document.

Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. All work to comply with I.B.C. Statutory Authorities and relevant American Standards.

Index of Drawings

A000 COVER SHEET A001 SITE CONTEXT AND CODE ANALYSIS

A002 STANDARDS, GENERAL NOTES & ABBREVIATIONS

EXISTING EXTERNAL ELEVATIONS

MEANS OF EGRESS PLAN

A030 EXISTING FLOOR PLANS A110 BASEMENT FLOOR PLAN

A111 FIRST FLOOR PLAN A112

SECOND FLOOR PLAN THIRD FLOOR PLAN

A113 A114 **ROOF PLAN**

A200

A201 EXTERNAL ELEVATIONS A202 EXTERNAL ELEVATIONS

A210 BUILDING SECTIONS

Gore Street, 33

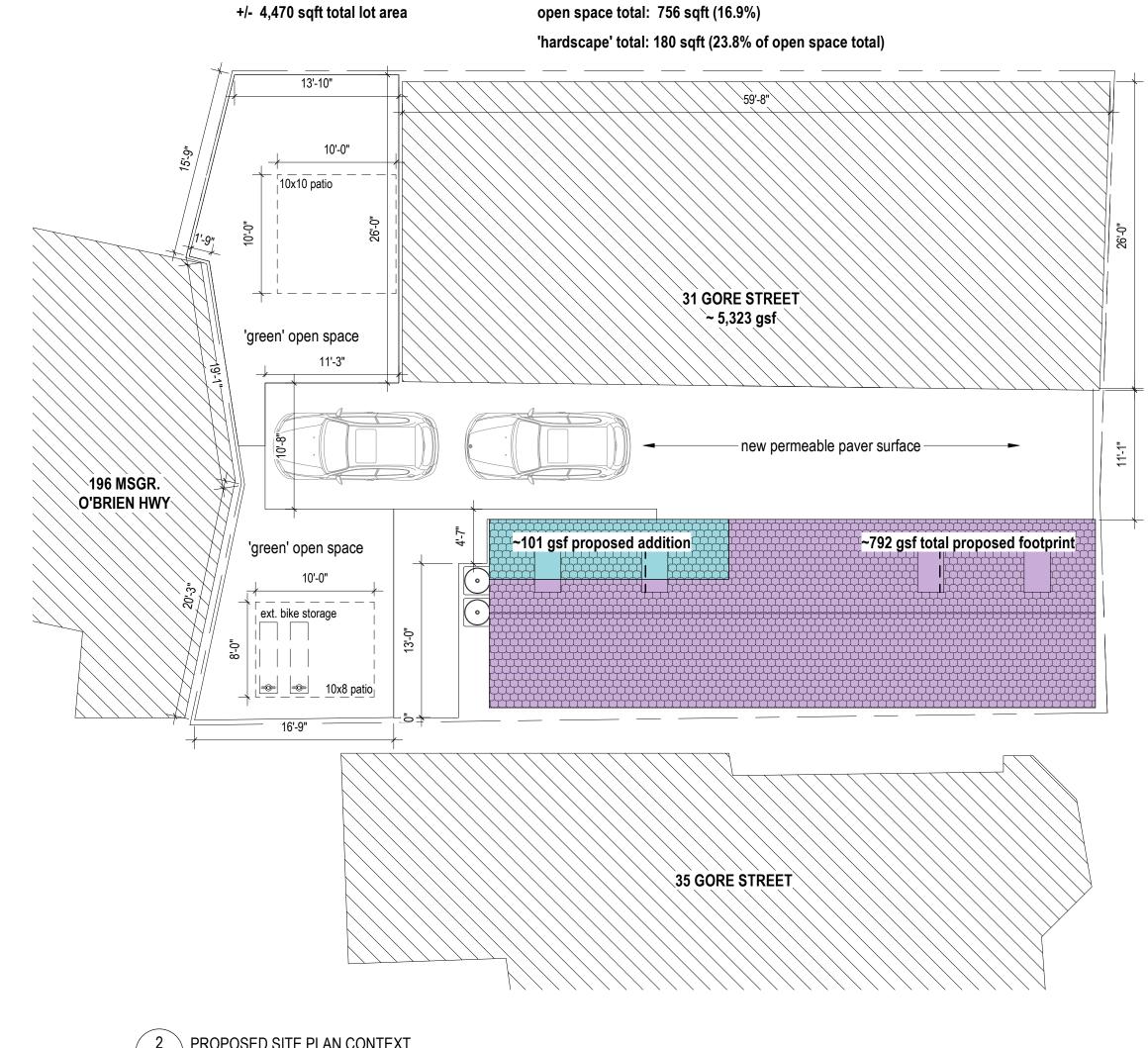
project number 308 drawing number A000 revision 1

33 Gore LLC,

Cambridge, MA PROJECT NAME:

Gore Street Development





revision description

SPECIAL PERMIT

03/26/2021

For Permit

Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions.

Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.

© 2019- all rights reserved

consultant / contractor information:

PROPOSED SITE PLAN CONTEXT

1/8" = 1'-0"

LOCUS MAP 33 Gore Street, Cambridge, MA

Per Massachusetts state building coo	de 780 CMR 9th edition/ internation	building code	Prop
	Existing	Proposed	Map/
Use Group (780 CMR Section 304)	R-3	R-2	Neig
Type of construction (780 CMR Section 602)	Type V - B	Type V - B	Zoni
Number of stories	2.25	4]
Fire Protection	Building is not Fully Sprinklered	Building to be Fully Sprinklered	Use
Building Element (780 CMR Section	Fire Resistance Rating]	
primary structural frame	1]	
bearing walls		1]
exterior walls		1]
interior walls		1]
non bearing walls and interior	0]	
floor construction and secondary me	1	Build	
roof construction and secondary mer	1	Mair	

PROJ	ECT ZONING INFOR	MATION	(LOC	CAL REGI	JLAT	TION:	S)						APPLICABL	E CODES & REGULATIONS (9th EDITION 780 CMR)	proje	
Property Cla					Z	oning C	ass	R	les - C2B				Code Type	Applicable Code	Go	
Map/Lot	20 - 105														-	
Neighborho	od East Cambridge												MA Building	780 CMR: Massachusetts State Building Code - 9th Edition		
Zoning Ordi	nance Zoning Ordinance of the	ne City of Camb	oridge											As a reminder, the new, ninth edition code is based on modified versions of the following 2015 codes as published by the International Code Council (ICC).	33	
_	Zoning Data	Require	d	Existing Un-n			osed M		Existing Me	erged	Proposed M	erged	 		-	
				(33 Gore	e)	(33 G	ore 31	Gore)	(site)		(site)		Residential	International Residential Code 2015 (IRC 2015)	clier	
Use & Lot	Use	Use Residential		Residential		Residential		ial	Residential		Residential		Existing Buildings	International Existing Building Code (IEBC)	33	
_	# of Dwelling Units*	14 (max)	units	2	units	2	6	units	8	units	8	units	Plumbing	248 CMR 10.00: Uniform State Plumbing Code	Co	
_	Lot Area	5,000	sqft	1,035	sqft	1,035	3,435	sqft	4,470	sqft	4,470	sqft	Energy	International Energy Conservation Code (IECC)		
	Lot Area / # of Dwelling Units*	600	sqft	517.5	sqft	-		sqft	559	sqft	559	sqft	Accessibility	521 CMR: Massachursetts Architectural Access Board Regulations	2 L	
\parallel	Gross Floor Area Footprints (All Buildings)	n/a	gsf	691	gsf	792	1,774	gsf	2,465	gsf	2,556	gsf	7 tooosoisiiity			
	Open Space (pervious area)	15	%	0	%	_		%	9.1	%	16.9	%	PROJECT G	ENERAL INFORMATION (PROJECT DATA SHEET)		
Building	Gross Floor Area	n/a	gsf	1,836	gsf	3,064	5,323	gsf	7,159	gsf	8,387	gsf	Project Number	308	1	
Main Body & Density	Net Floor Area**/***	n/a	nsf	1,496	nsf	2,574		nsf		nsf		nsf	Project Title	Gore Street Development		
	(sum of all usable sf)			4.0					4.0		4.07		Project Address	33 Gore Street, Cambridge, MA 02141		
_	Floor Area Ratio (FAR) (I/C)	2.0		1.6	<u> </u>		 		1.6		1.87	_	Client Name	Koskores Real Estate Corp.		
	Building Height	45	ft	27	ft	34.25	31	ft	27 31	ft	34.25 31	ft	Client Address	2 Lincoln Street, Somerville, MA 02145		
Building	Front Yard Setback	10	ft	0	ft	0	0	ft	0	ft	0	ft				
Setbacks	Rear Yard Setback	20	ft	22.2	ft	21.2	14.6	ft	22.2 14.6	ft	21.2 14.6	ft	PROJECT D	PROJECT DESCRIPTION		
	Side Yard Setback (left)	H+L/5	ft	1.75	ft	1.	75	ft	1.75	ft	1.75	ft	 		-	
	Side Yard Setback (right)	H+L/5	ft	1.5	ft		75	ft	2.75	ft	2.75	ft		lition to an existing multi family residential structure located in East Cambridge. Scope cavation and underpinning of existing basement foundation, new foundation at addition	dra	
	Street Frontage	20	ft	19	ft	59	.83	ft	59.83	ft	59.83	ft	area. New penthous	se floor to add a story to the original structure, complete interior renovation with new	S	
	Distance Between Buildings	(H1+H2)/6	ft	9.6	ft	10	0.8	ft	9.6	ft	10.8	ft	building utilities and	window locations.		

Additional Information ECHO (East Cambridge Housing Overlay) overlay district.

Parcels merged via common ownership - 33 Gore Street & 31 Gore Street

EXISTING STRUCTURES (IEBC)

Alteration - Level 3 (section 504)

Based on our interpretation of the IEBC 2015 Chapter 5 - Classification of work, 33 Gore Street is Alteration -Level 3 (section 504). The work includes complete renovation of interior spaces, an addition to the rear of the existing footprint, a new 4th story, and excavation & underpining of existing foundation. The Building is classification group R-2 with a project scope area of 100%, an automatic fire supression system will be required. The work will comply with all the provisions of chapter for Level 1 alterations and level 2 alterations as well as all the required provisions for level 3 alterations. Gore Street Development

33 Gore Street, Cambridge, MA 2141

client information: 33 Gore LLC, c/o Koskores Real Estate

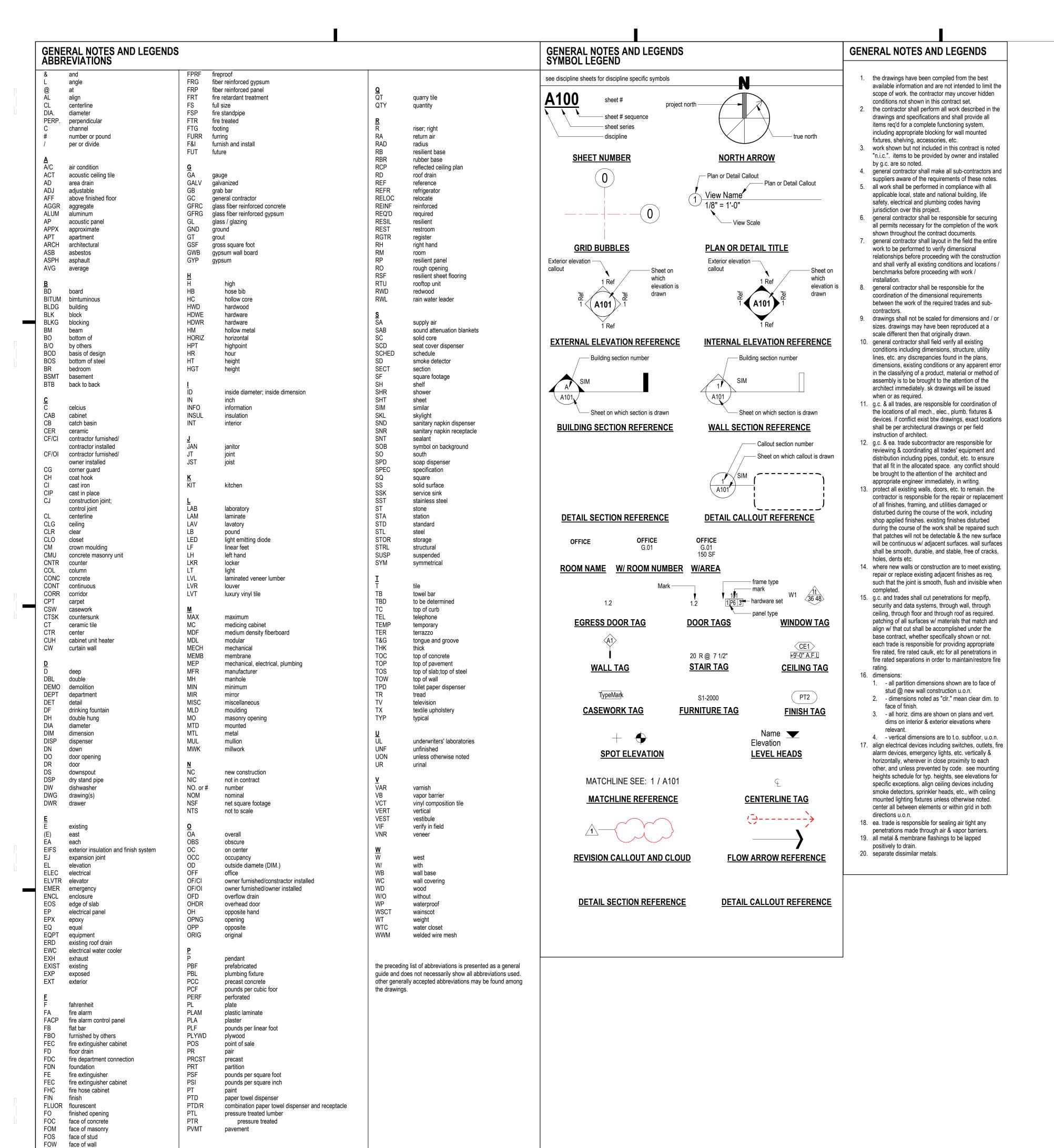
2 Lincoln Street, Somerville, MA 02145

JOE THE ARCHITECT

343 Medford Street, Suite 4C Somerville, MA 02145 t: +1(617) 764-3593 e: askjoe@joethearchitect.com www.joethearchitect.com

drawing title
SITE CONTEXT AND **CODE ANALYSIS**

drawing scale approver As indicated | Approver drawing number



FPL

FPR

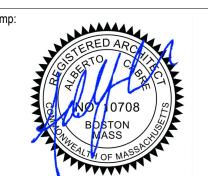
fireplace

fire protection riser

For Permit

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.

consultant / contractor information:



revision	revision description	date
1	SPECIAL PERMIT	03/26/202

Gore Street Development

33 Gore Street, Cambridge, MA 2141

client information:
33 Gore LLC, c/o Koskores Real Estate

2 Lincoln Street, Somerville, MA 02145

JtA

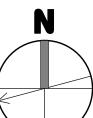
JOE THE ARCHITECT

343 Medford Street, Suite 4C Somerville, MA 02145 t: +1(617) 764-3593 e: askjoe@joethearchitect.com

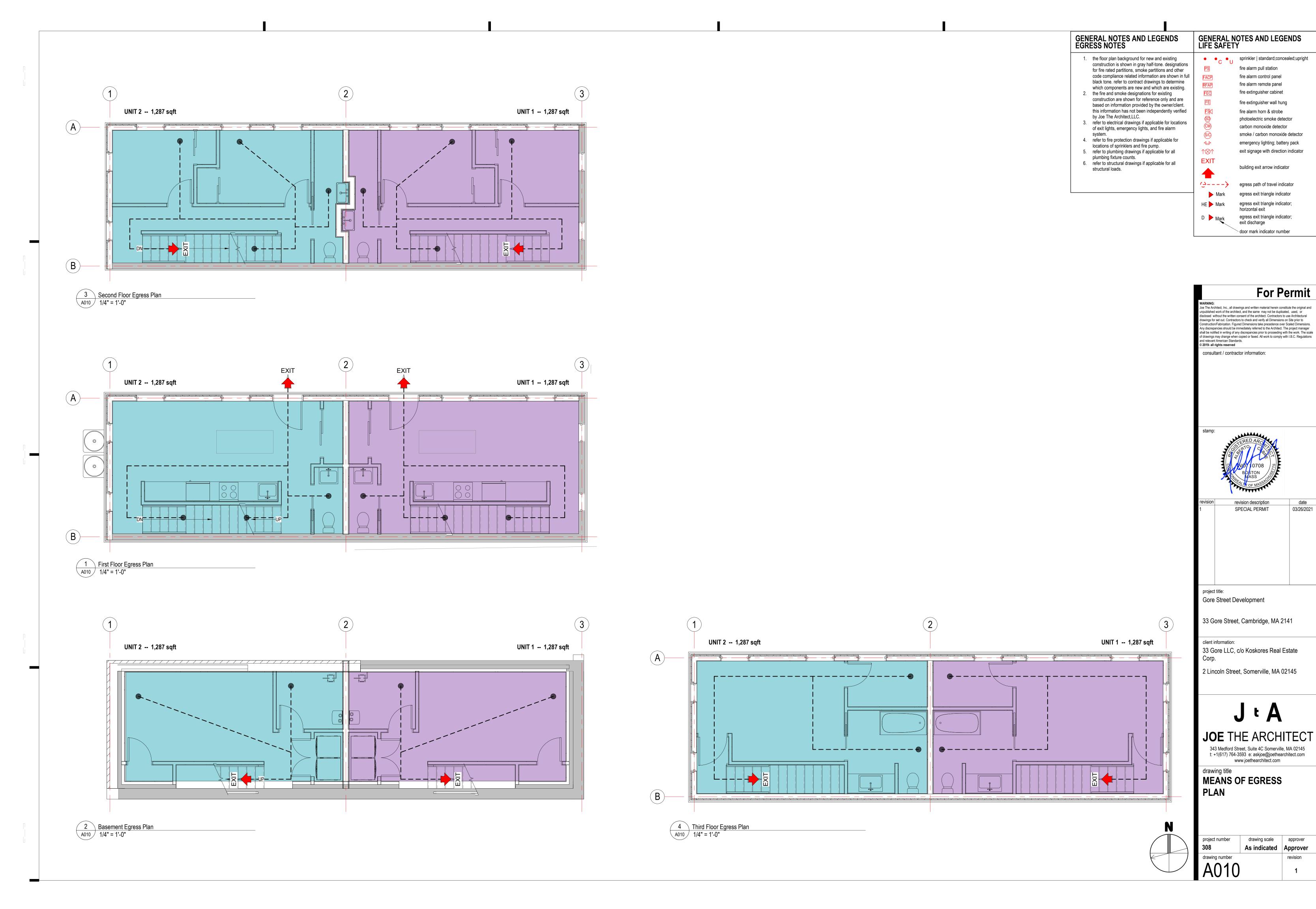
www.joethearchitect.com

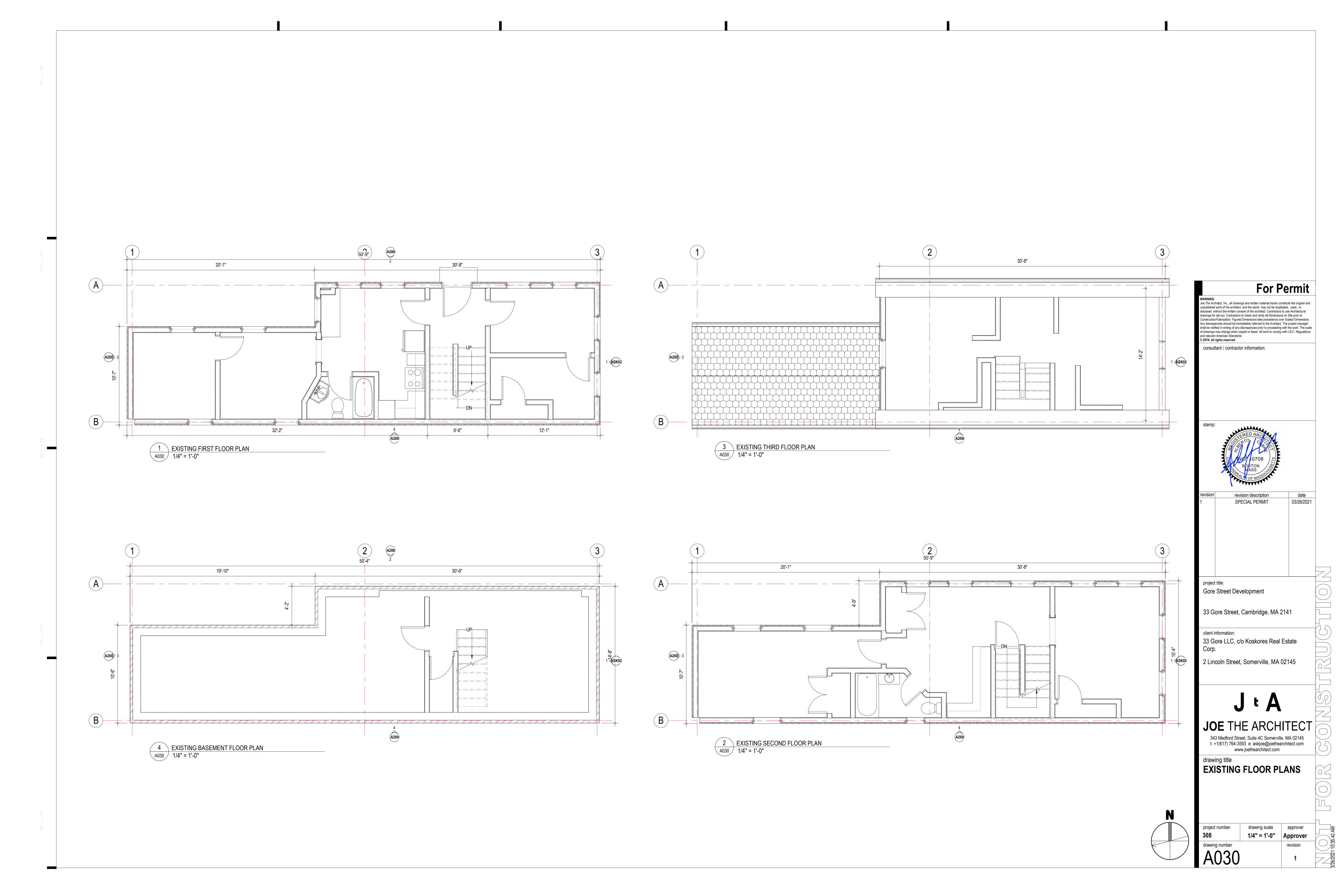
drawing title

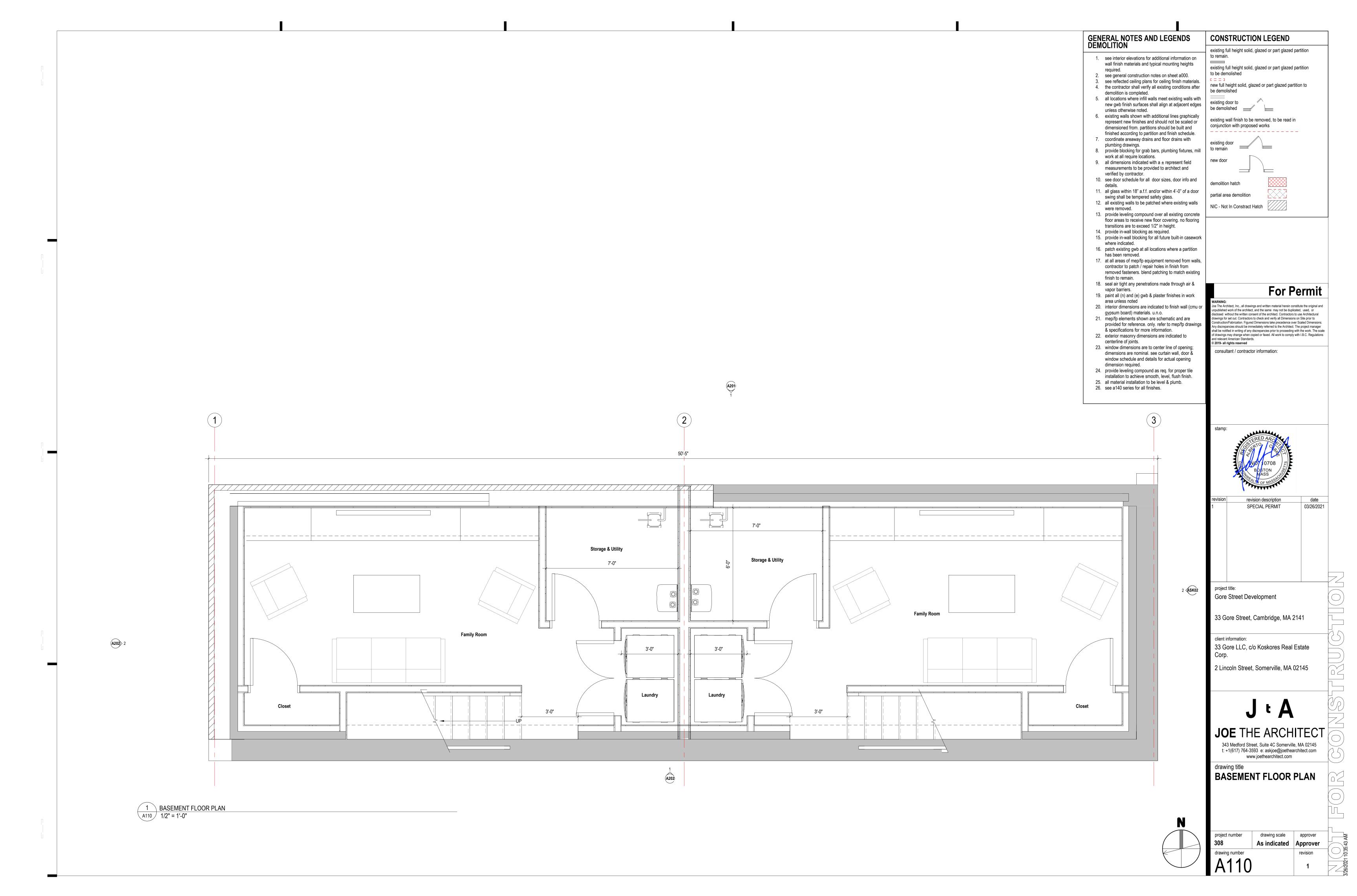
STANDARDS, GENERAL NOTES & ABBREVIATIONS

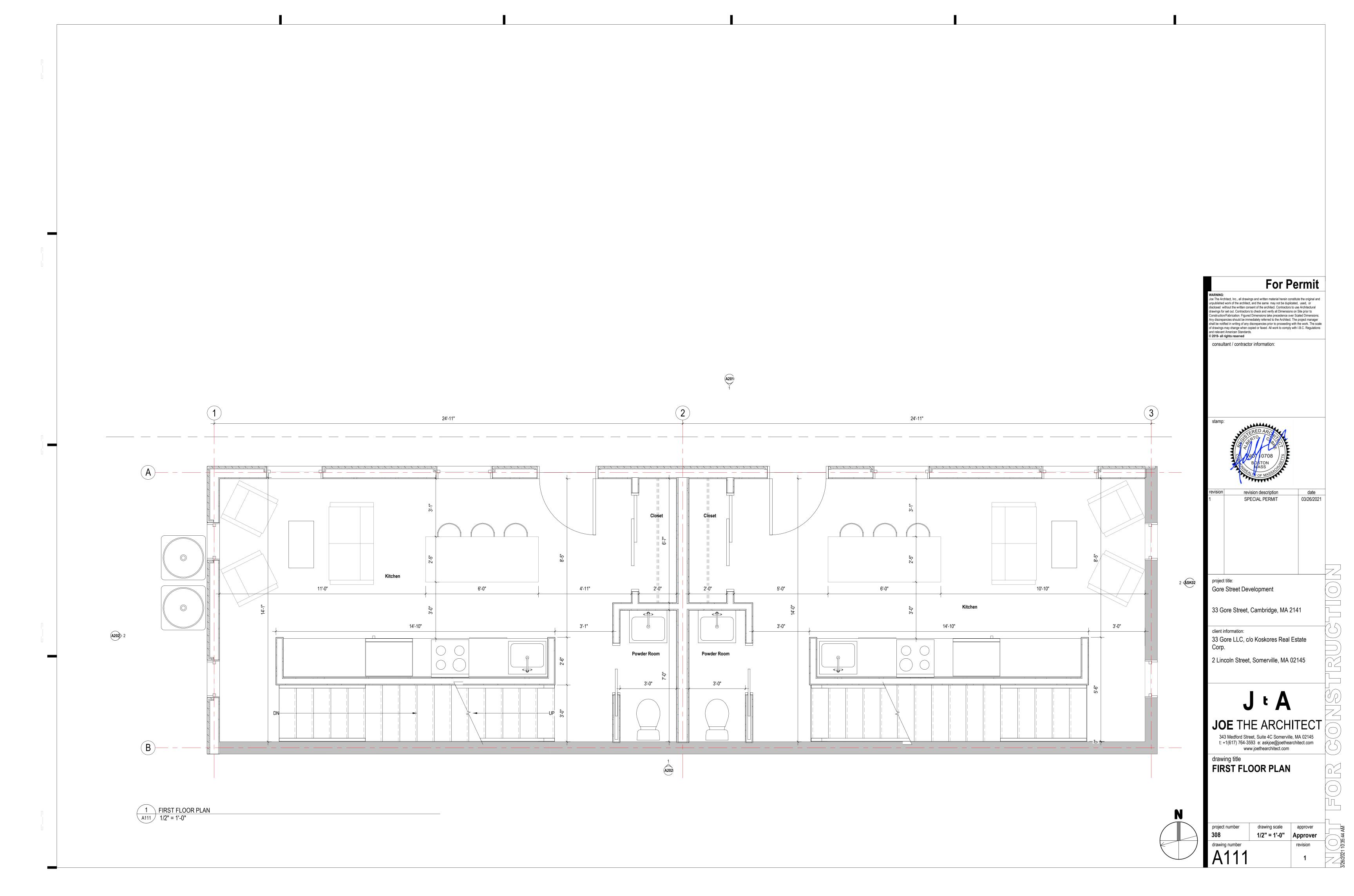


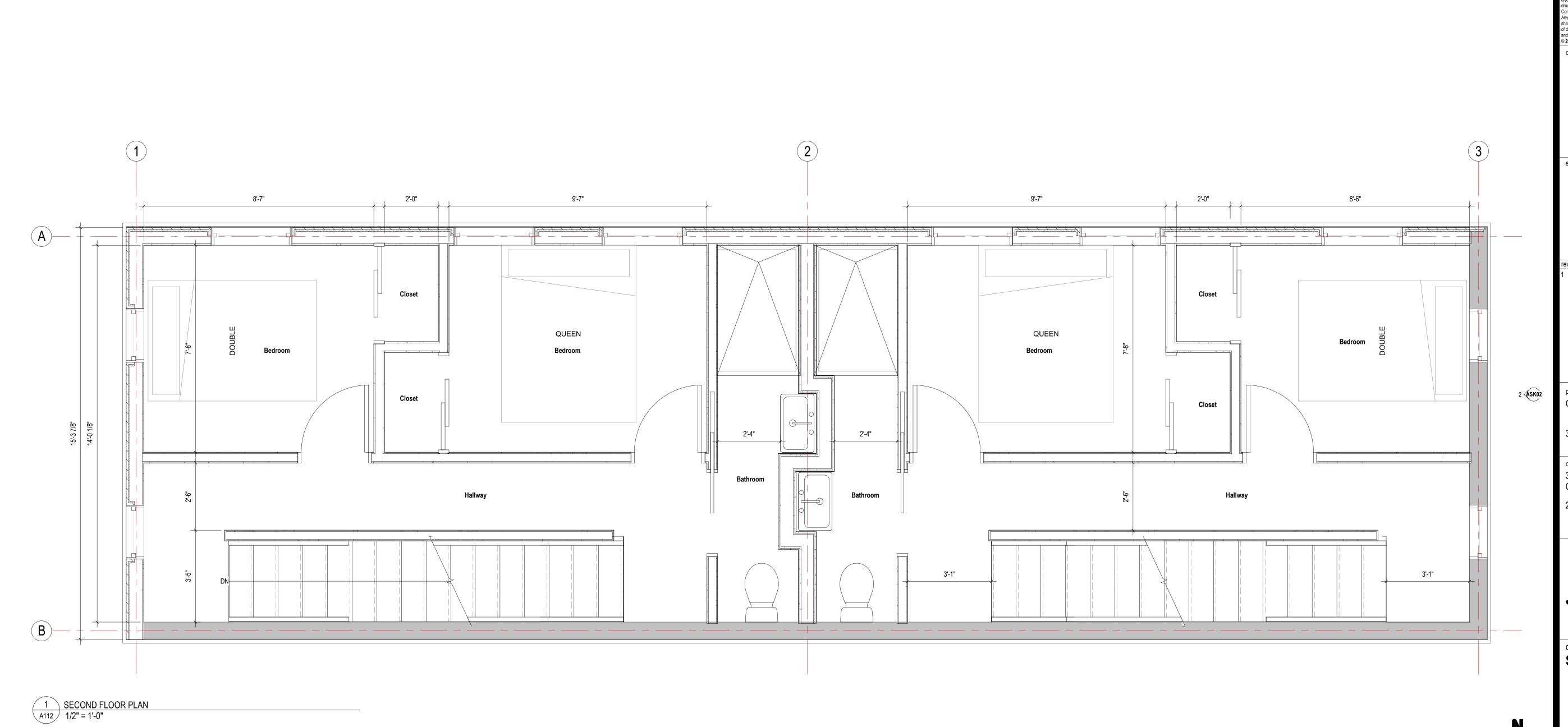
project number	drawing scale	approver	
308	As indicated	Approver	
drawing number		revision	7
A002	1		







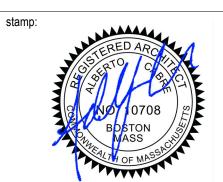




For Permit

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.

consultant / contractor information:



date 03/26/2021 revision description SPECIAL PERMIT

Gore Street Development

33 Gore Street, Cambridge, MA 2141

client information: 33 Gore LLC, c/o Koskores Real Estate

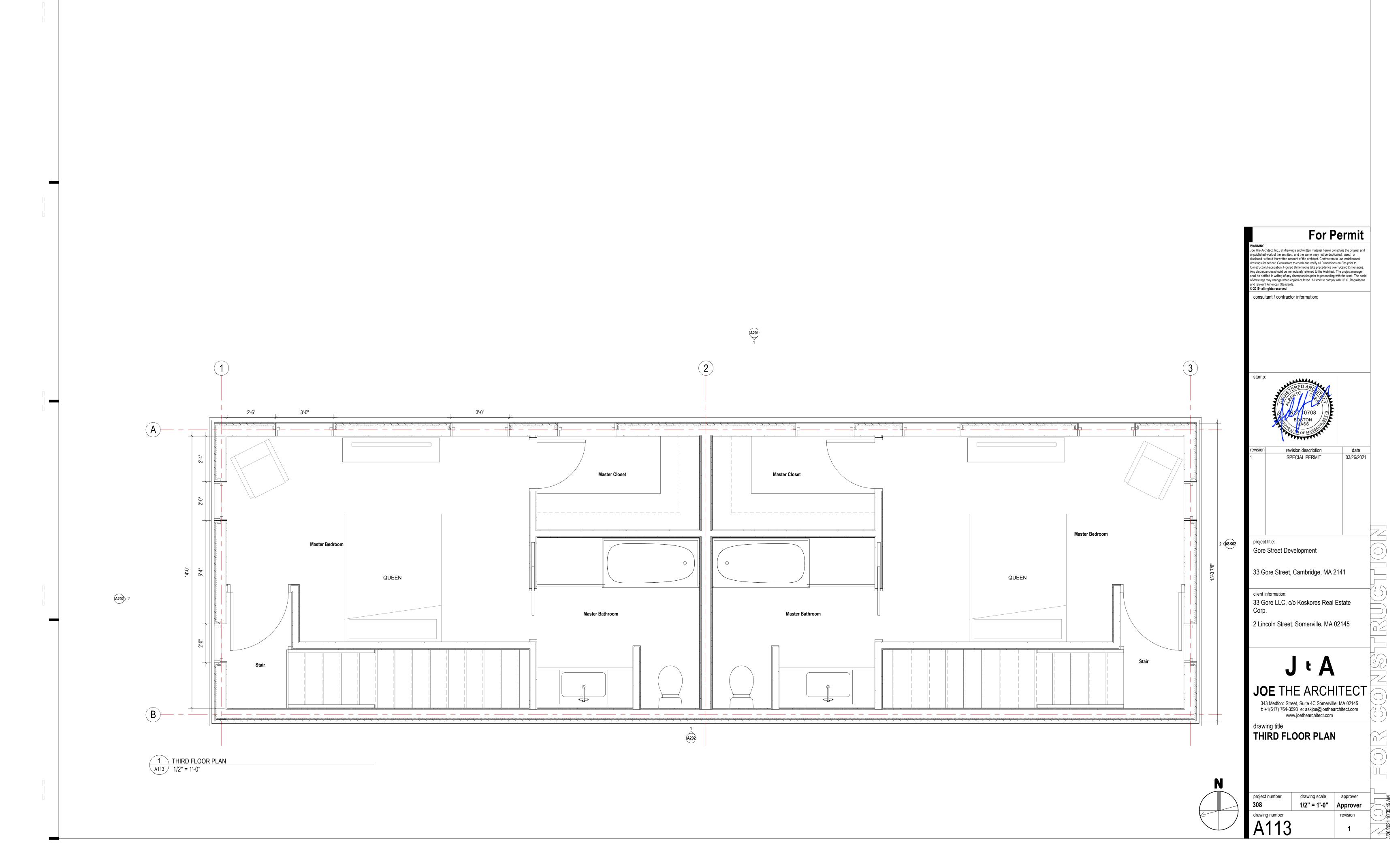
2 Lincoln Street, Somerville, MA 02145

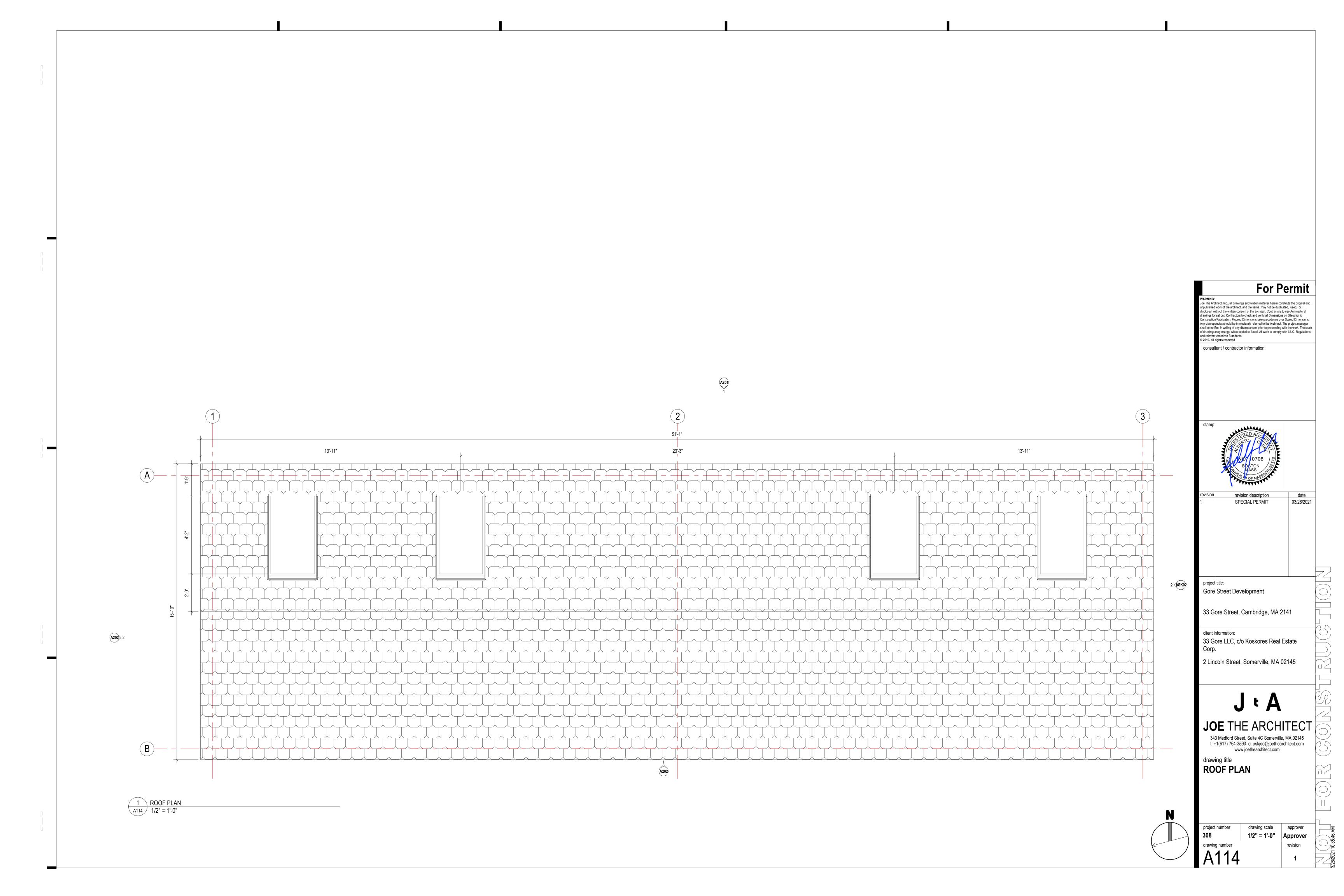
JOE THE ARCHITECT

343 Medford Street, Suite 4C Somerville, MA 02145 t: +1(617) 764-3593 e: askjoe@joethearchitect.com www.joethearchitect.com

drawing title
SECOND FLOOR PLAN

drawing scale approver 1/2" = 1'-0" Approver drawing number A112







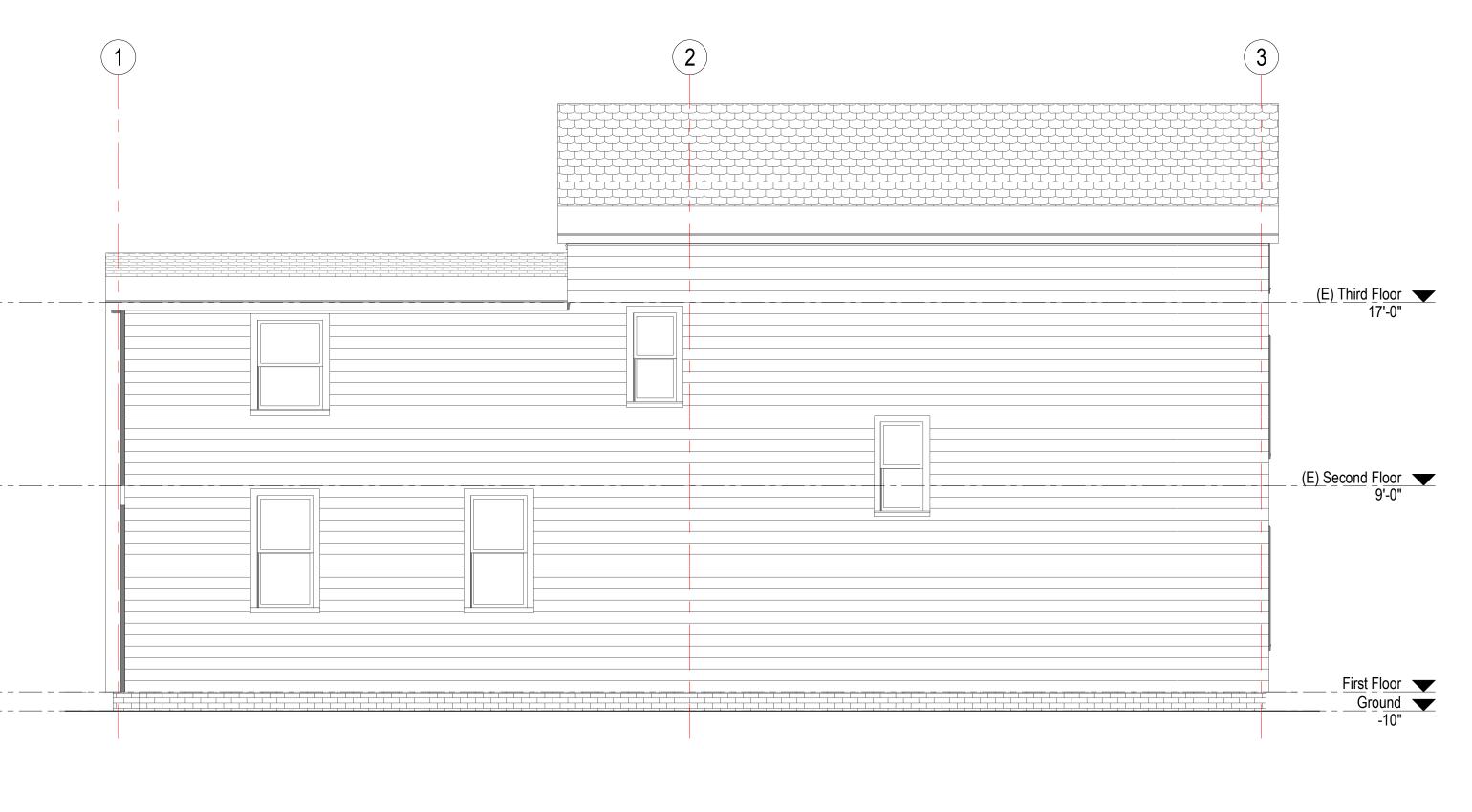
Existing West Elevation
A200 1/4" = 1'-0"

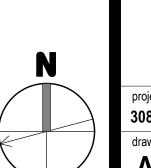
(E) Third Floor 17'-0"

(E) Second Floor 9'-0"

First Floor
Ground
-10"

3 Existing North Elevation
A200 1/4" = 1'-0"





(E) Third Floor 17'-0"

__(E) Second Floor ______9'-0"

First Floor
Ground
-10"

project number drawing scale approver Approver drawing number revision 1

For Permit

date 03/26/2021

WARNING:

Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.

© 2019- all rights reserved

revision description SPECIAL PERMIT

Gore Street Development

client information:

33 Gore Street, Cambridge, MA 2141

33 Gore LLC, c/o Koskores Real Estate

2 Lincoln Street, Somerville, MA 02145

JOE THE ARCHITECT

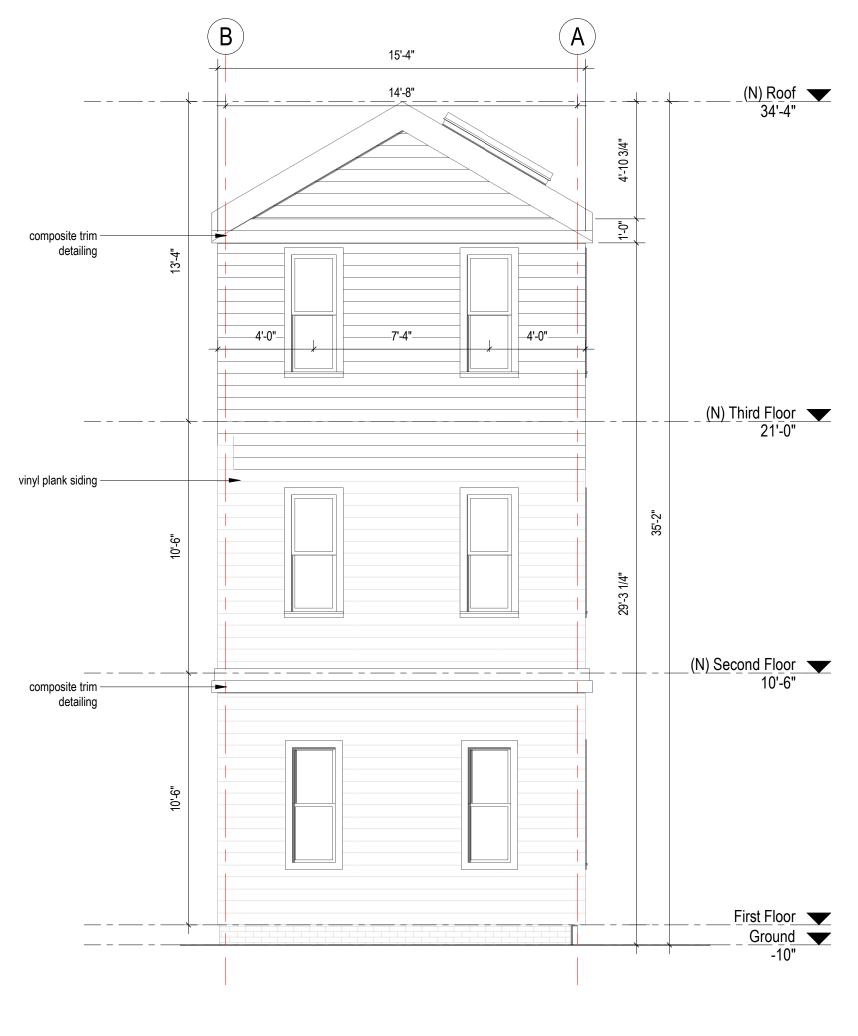
343 Medford Street, Suite 4C Somerville, MA 02145 t: +1(617) 764-3593 e: askjoe@joethearchitect.com www.joethearchitect.com

drawing title
EXISTING EXTERNAL

ELEVATIONS

consultant / contractor information:





PROPOSED SOUTH ELEVATION
A201 1/4" = 1'-0"

revision description SPECIAL PERMIT Gore Street Development 33 Gore Street, Cambridge, MA 2141 client information: 33 Gore LLC, c/o Koskores Real Estate 2 Lincoln Street, Somerville, MA 02145 **JOE** THE ARCHITECT 343 Medford Street, Suite 4C Somerville, MA 02145 t: +1(617) 764-3593 e: askjoe@joethearchitect.com www.joethearchitect.com drawing title
EXTERNAL ELEVATIONS

For Permit

date 03/26/2021

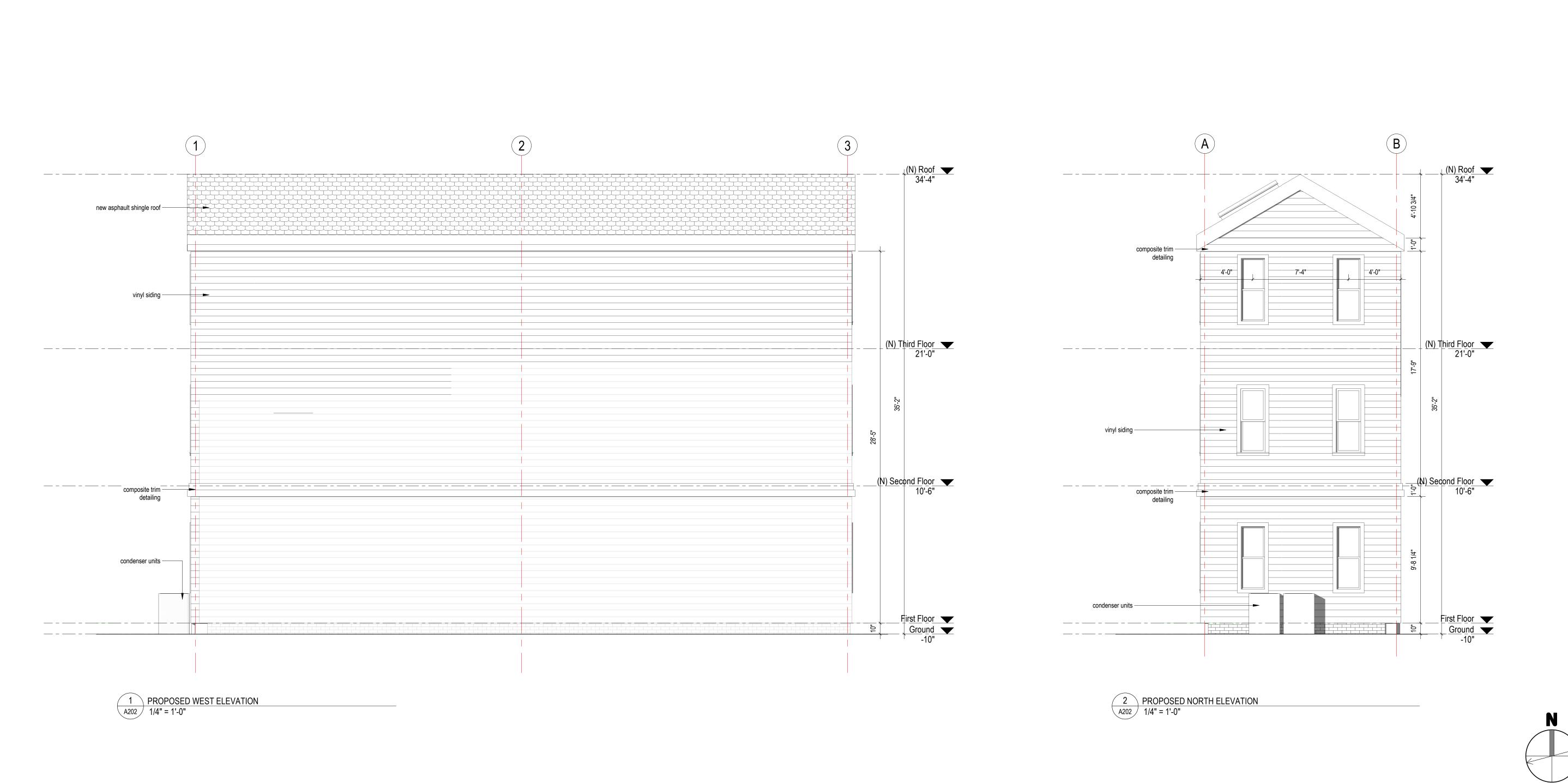
WARNING:

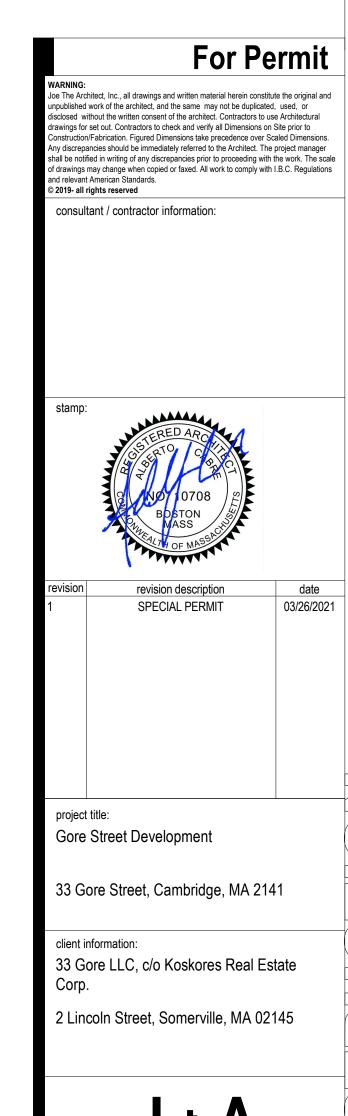
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.

© 2019- all rights reserved

consultant / contractor information:

drawing scale approver 1/4" = 1'-0" Approver





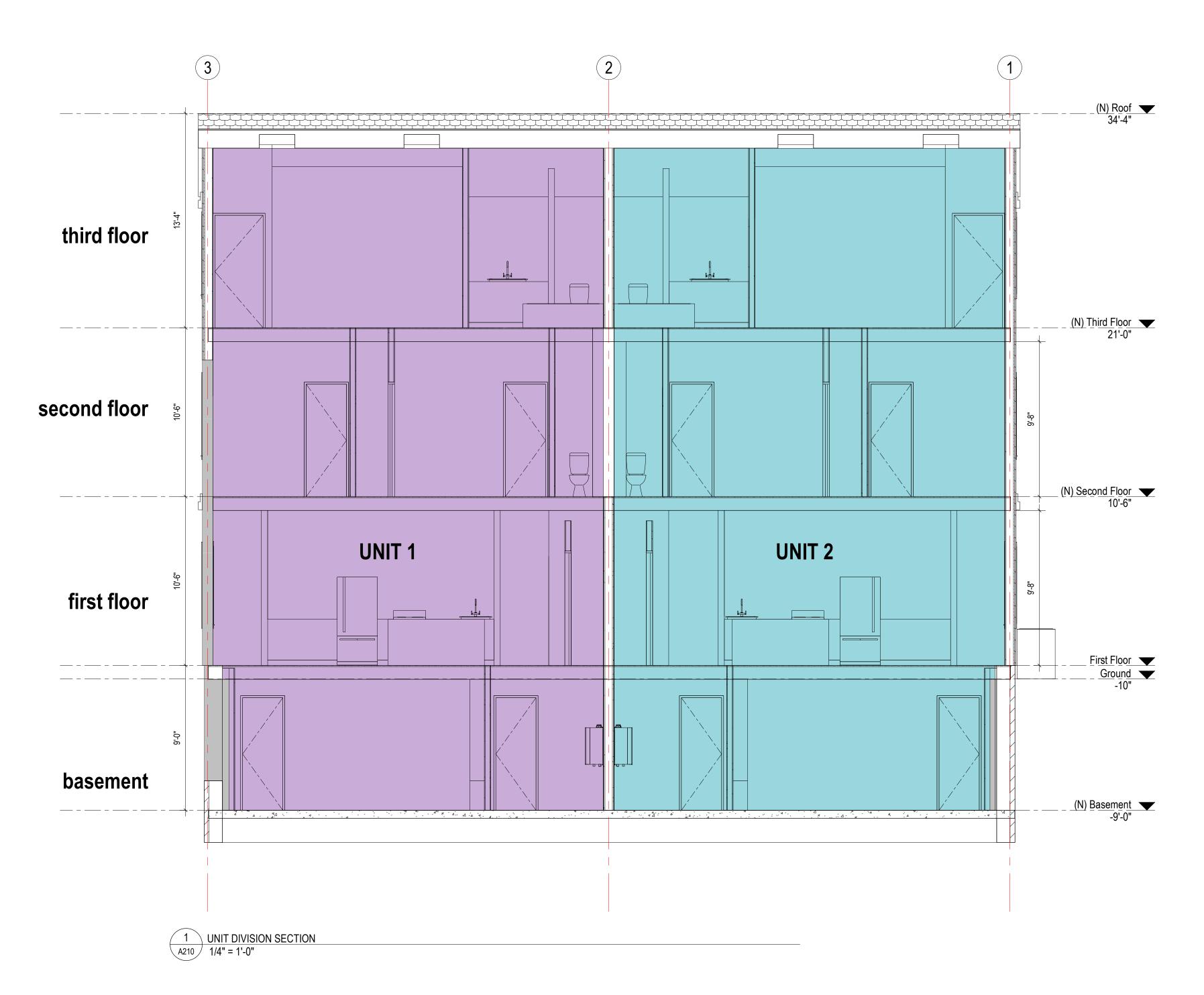
date 03/26/2021

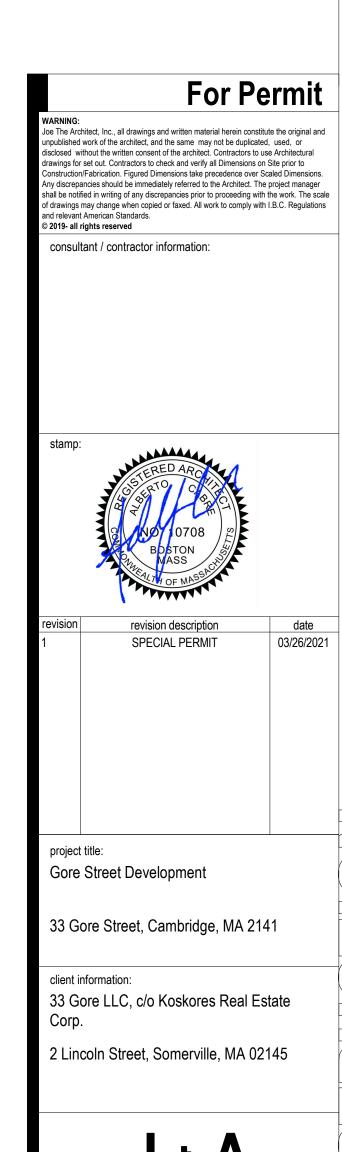
343 Medford Street, Suite 4C Somerville, MA 02145 t: +1(617) 764-3593 e: askjoe@joethearchitect.com www.joethearchitect.com drawing title

EXTERNAL ELEVATIONS

JOE THE ARCHITECT

drawing scale approver 1/4" = 1'-0" Approver





JOE THE ARCHITECT

343 Medford Street, Suite 4C Somerville, MA 02145 t: +1(617) 764-3593 e: askjoe@joethearchitect.com www.joethearchitect.com

drawing title **BUILDING SECTIONS**

drawing scale approver 1/4" = 1'-0" Approver