



# CAMBRIDGE HISTORICAL COMMISSION

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Telephone: 617 349 4683 TTY: 617 349 6112  
E-mail: histcomm@cambridgema.gov URL: www.cambridgema.gov/Historic

## APPLICATION FOR CERTIFICATE

- The undersigned hereby applies to the Cambridge Historical Commission for a Certificate of (check one box):  Appropriateness,  Nonapplicability, or  Hardship, in accordance with Chapter 40C of the Massachusetts General Laws and/or Chapter 2.78 of the Municipal Code.
- Address of property: 269-301 Vassar Street, Cambridge, Massachusetts
- Describe the proposed alteration(s), construction or demolition in the space provided below:  
(An additional page can be attached, if necessary).

MIT is proposing to construct a new graduate student dormitory on the western side of the MIT campus. The project will consist of two dormitory buildings at 269-301 Vassar Street, containing approximately 690 beds, including a large central plaza, two entry courts, and green space improvements along the Grand Junction Multi-Use Path. Located just south of Fort Washington Park, the central plaza honors the Fort Washington Historic District boundary and preserves open space and view corridors south of the park in what was once the line of cannon fire from the park towards the river during the Revolutionary War. The landscape design of the central plaza acknowledges the orientation and alignment of the park and the Cambridgeport street grid beyond, providing public open space and a strong pedestrian connection from the river through to Fort Washington Park. The central plaza is flanked by two five and six story buildings that are below the 60' height restriction imposed by the Fort Washington Historic District, and once beyond the district regulating lines each building steps up to 10 stories. To enable construction of the new dormitory buildings the existing MIT police station (W89) will be demolished and relocated to another site. The MIT police station was built in 1948 and is categorized as "low level significance" in MIT's Historic Evaluation Assessment from 2016.

I certify that the information contained herein is true and accurate to the best of my knowledge and belief.  
The undersigned also attests that he/she has read the statements printed on the reverse.

Name of Property Owner of Record: Massachusetts Institute of Technology  
Mailing Address: 77 Massachusetts Ave., NW23-100, Cambridge MA 02139  
Telephone/Fax: 617-293-6380 E-mail: kbrown@mit.edu  
⇒ Signature of Property Owner of Record: Kelley Brown, for MIT  
(Required field; the application will not be considered complete without the property owner's signature)  
Name of proponent, if not record owner: Kelley Brown, for MIT  
Mailing Address: same as above  
Telephone/Fax: same E-mail: same

(for office use only):  
Date Application Received: \_\_\_\_\_ Case Number: 4633 Hearing Date: 8/5/21  
Type of Certificate Issued: \_\_\_\_\_ Date Issued: \_\_\_\_\_



## MIT West Campus Graduate Student Dormitory

Cambridge Historical Commission

Certificate of Appropriateness for Construction in the Fort Washington Historic District

Plans and Illustrations

Submission Date: July 7, 2021



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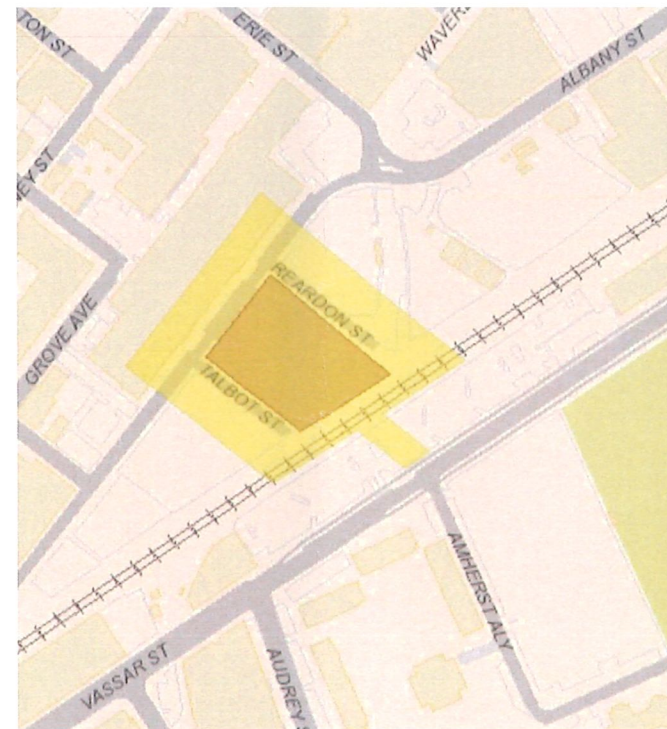
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# Summary of Work

As part of the MIT West Campus Graduate Dormitory project at 269-301 Vassar Street, this proposal for improvements in the Fort Washington Historic District is submitted to the Cambridge Historical Commission for Certificate of Appropriateness review.

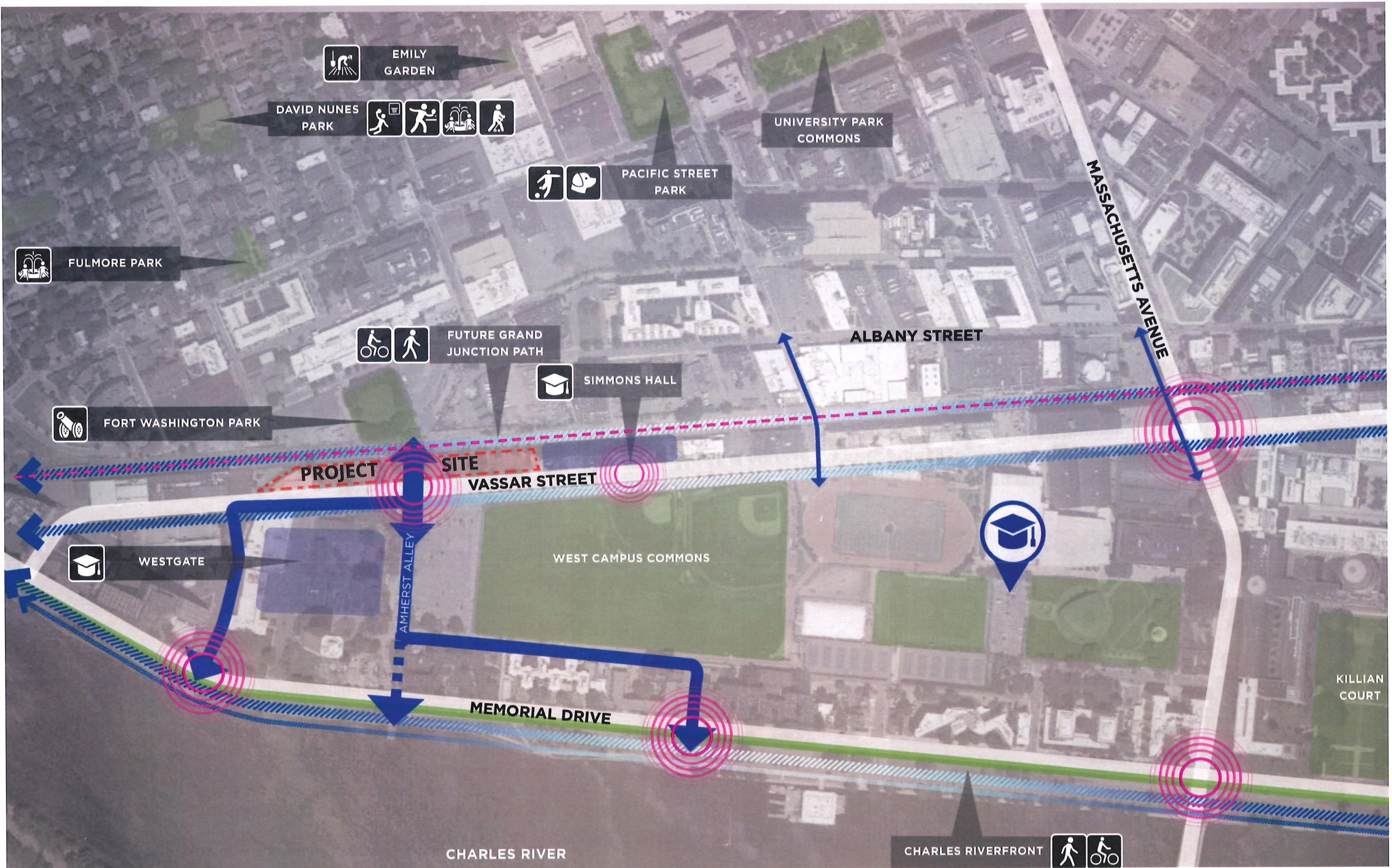
A 49'-7" wide section of the Historic District extends across the project site south of the Grand Junction Right-of-Way. The project includes conversion of a surface parking lot to open landscape space for public use.

The portion of the site coincident with the Historic District will contain an open lawn, portions of an elevated deck, trees and landscaping, and with small paved areas. No building construction is proposed in the Historic District.



*"Fort Washington is located at 101 Waverly Street, between Reardon Street and Talbot Street. The fort was built in 1775 by order of General George Washington. Seen now as grassy embankments, the fort is the only surviving physical remnant of the Revolutionary War in Cambridge. Several small forts, including this three-gun battery, were built to prevent the movement of British troops up the Charles River."*

*-from the Cambridge Historical Commission Website*



**EXISTING CONDITIONS SITE CONTEXT MAP**

MIT WEST CAMPUS GRADUATE DORMITORY PROJECT: CAMBRIDGE HISTORICAL COMMISSION CERTIFICATE OF APPROPRIATENESS APPLICATION



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A: PEDESTRIAN ACCESS TO RAIL CROSSING AT PARKING



B: SOUTH SIDE OF VASSAR SIDEWALK



C: MIT POLICE FROM AUDREY STREET



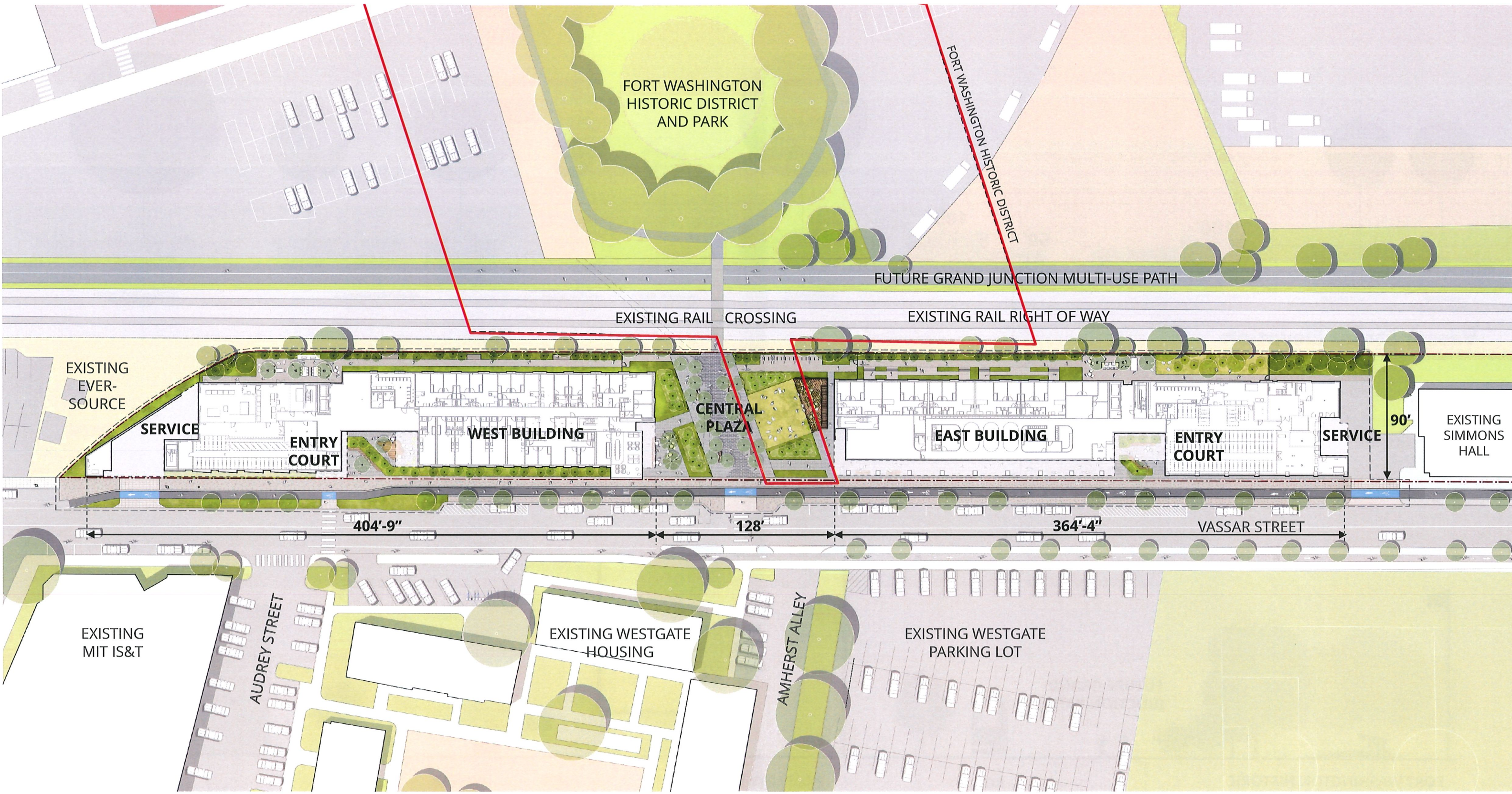
D: RAIL CROSSING FROM PARK



E: WEST PROPERTY EDGE AT EVERSOURCE

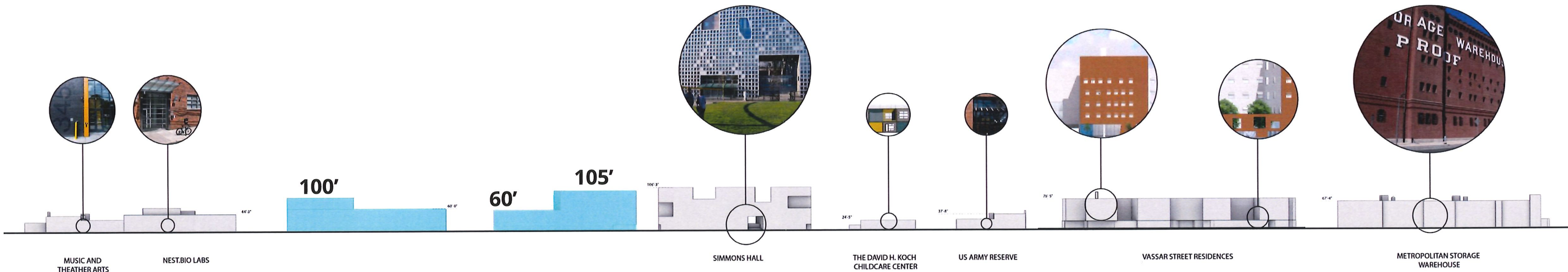
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# Proposed Design

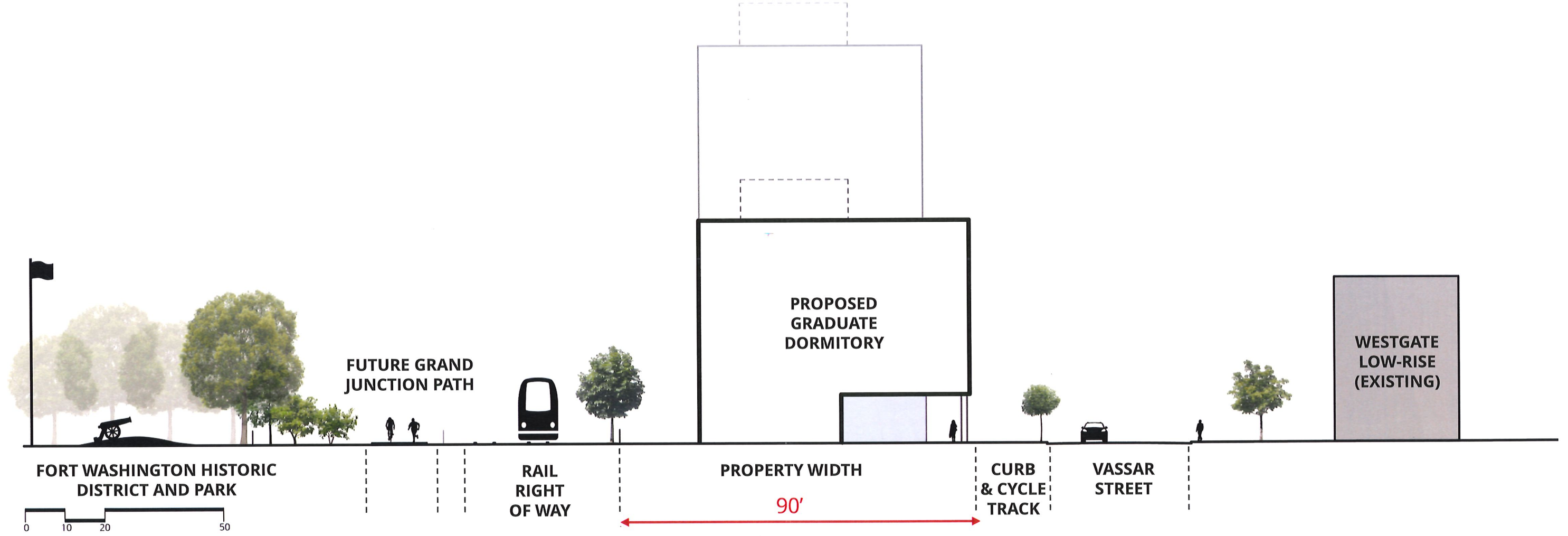


*The Fort Washington Historic District stretches across the project site at the Central Plaza. All of it will be open space for public use.*

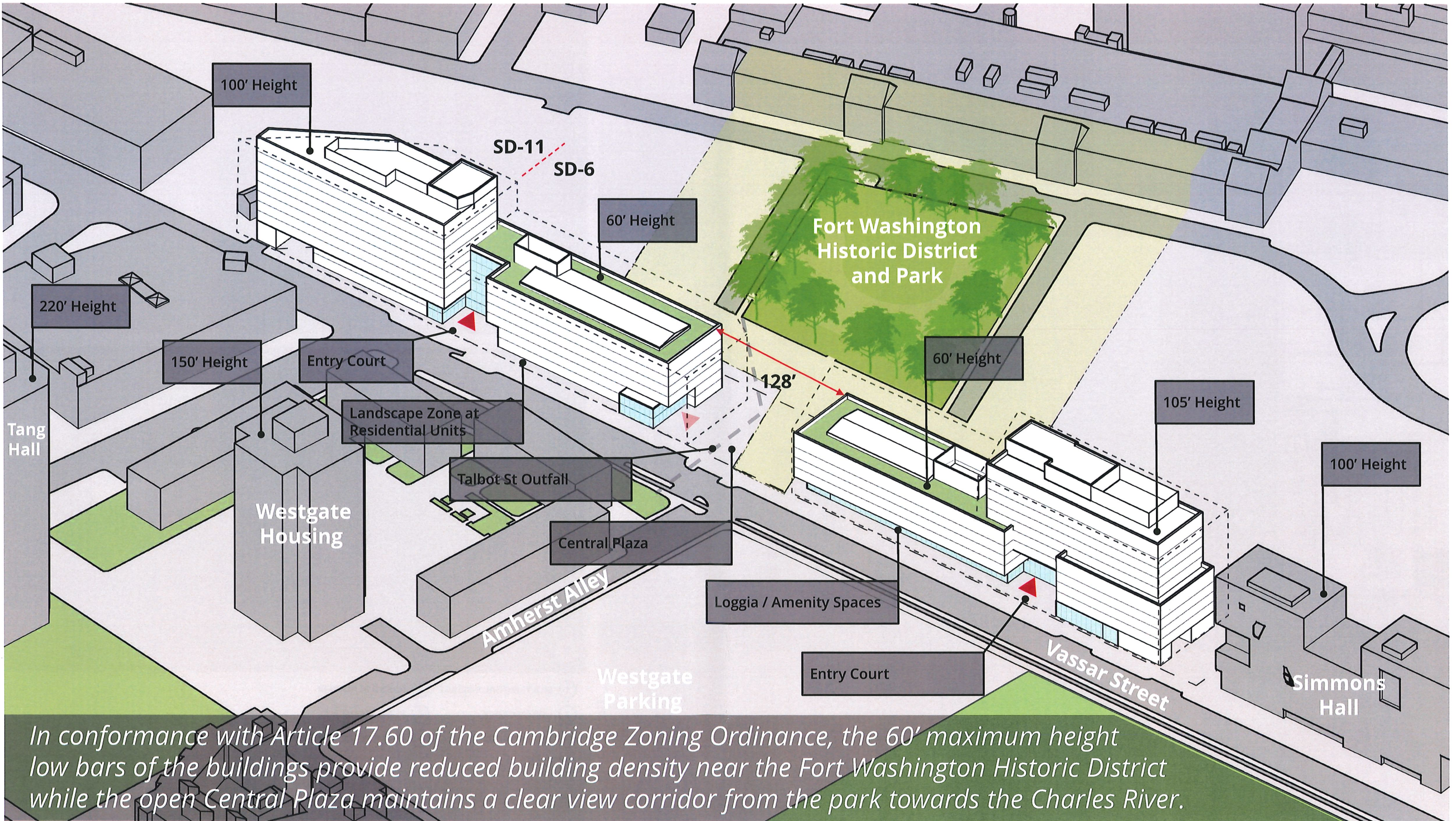




### Vassar Street Elevation



### Conceptual Site Section through Central Plaza Looking East



*In conformance with Article 17.60 of the Cambridge Zoning Ordinance, the 60' maximum height low bars of the buildings provide reduced building density near the Fort Washington Historic District while the open Central Plaza maintains a clear view corridor from the park towards the Charles River.*

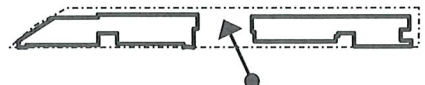


- ① MULTI-MODAL PASSAGE
- ② URBAN GROVE
- ③ SEATING GROVE
- ④ LAWN
- ⑤ RAISED PLATFORM
- ⑥ PLANTED MOUND
- ⑦ ENTRY PLAZA

*The Central Plaza is designed to promote clear mobility between Fort Washington Park and Vassar Street, while also accommodating public use of the space for recreation.*



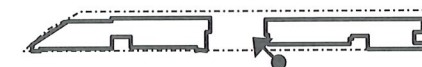
*The Central Plaza is oriented to align with Fort Washington Park and the Cambridgeport grid to the north. The two open spaces will be vital companions flanking the future Grand Junction Community Path.*





**PROPOSED DESIGN** EAST BUILDING LOGGIA TOWARD CENTRAL PLAZA

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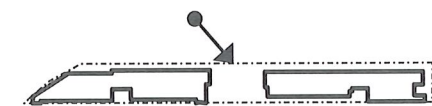


*The West Lounge interacts directly with the open spaces of the Central Plaza and serves as a counterpart to the Fitness Center of the East Building. Both spaces link interior student life with vibrant public activity in the Plaza.*





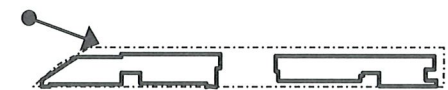
*The brick low bars of each building present a restrained backdrop for Fort Washington and a clear frame for passage to and through the Central Plaza. The landscape spaces along the north side of the buildings array outdoor student life along the length of this segment of the Grand Junction Community Path.*





**PROPOSED DESIGN** AERIAL VIEW FROM NORTH WITH FORT WASHINGTON PARK AT LEFT

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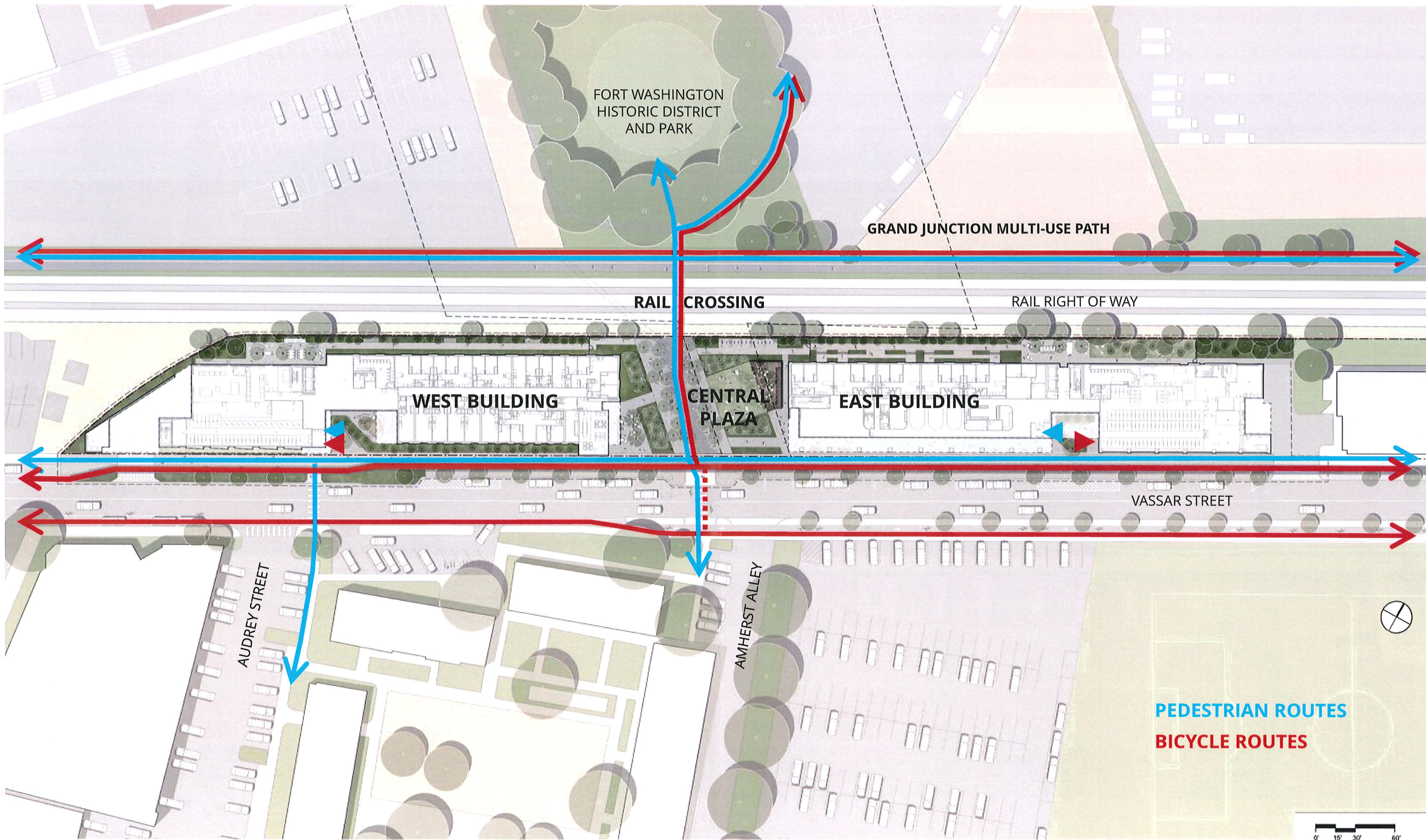


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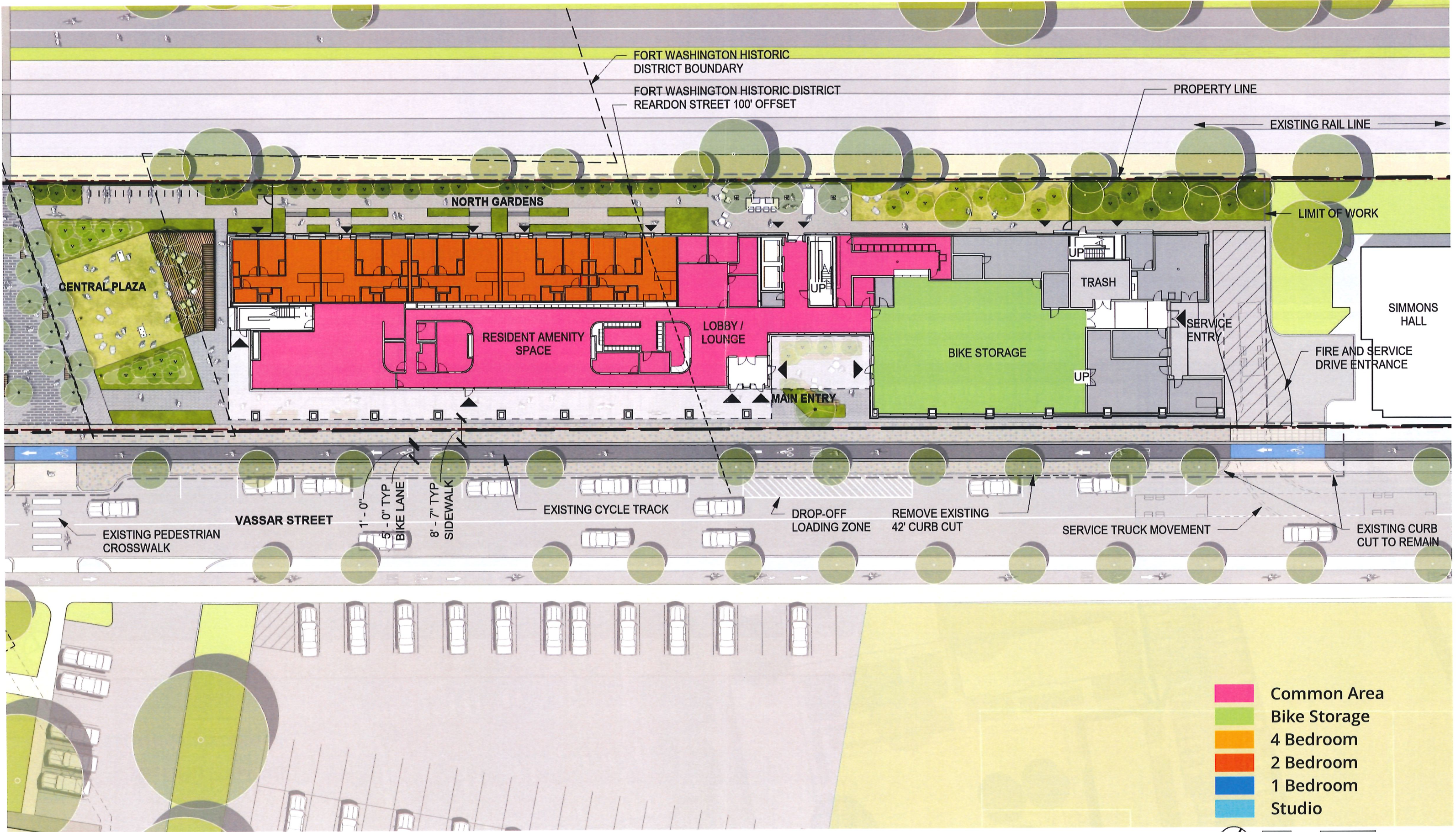
# Appendix

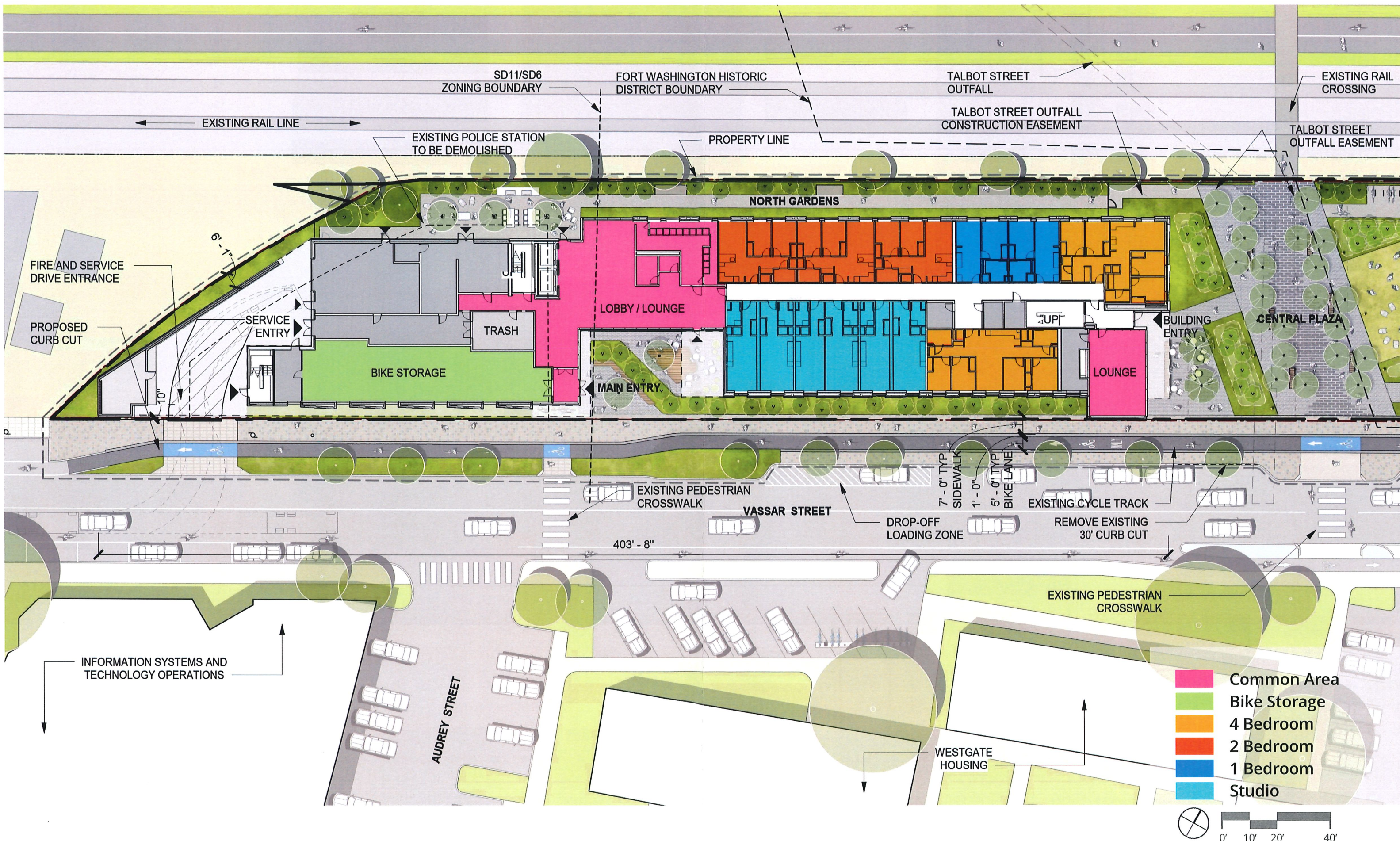


**TRANSPORTATION PEDESTRIAN AND BICYCLE CIRCULATION**

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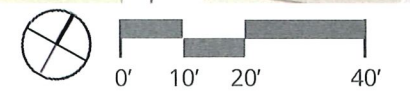


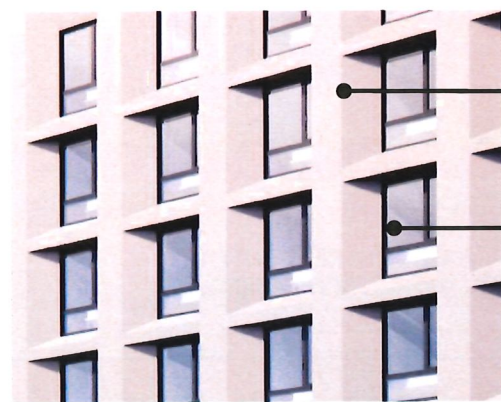


**PROPOSED DESIGN** GROUND FLOOR PLAN - WEST BUILDING

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- Common Area
- Bike Storage
- 4 Bedroom
- 2 Bedroom
- 1 Bedroom
- Studio





METAL PANELS

METAL WINDOWS

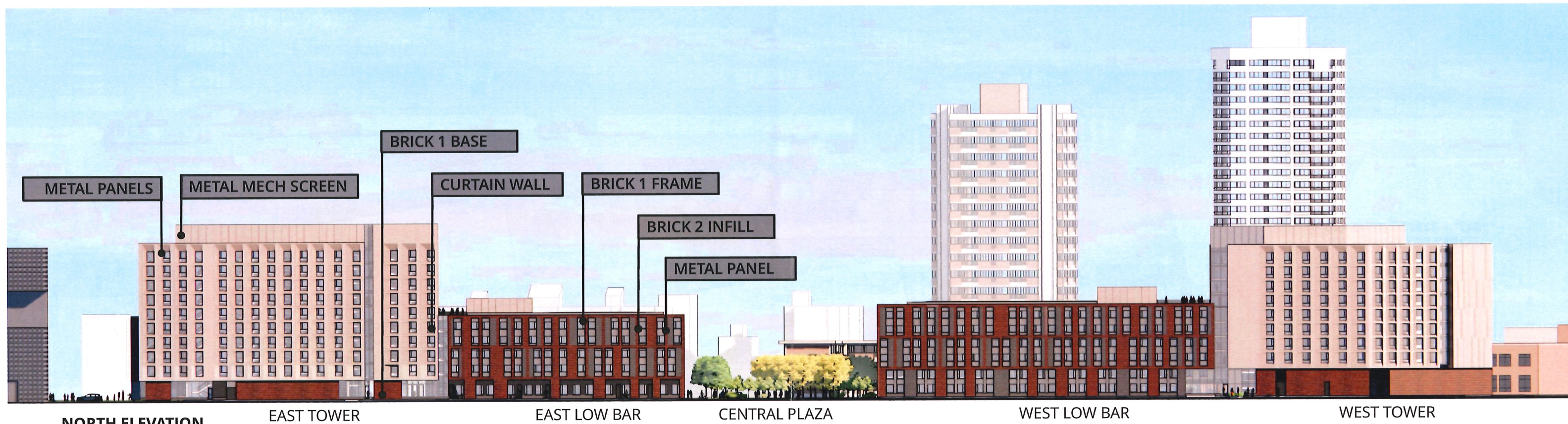
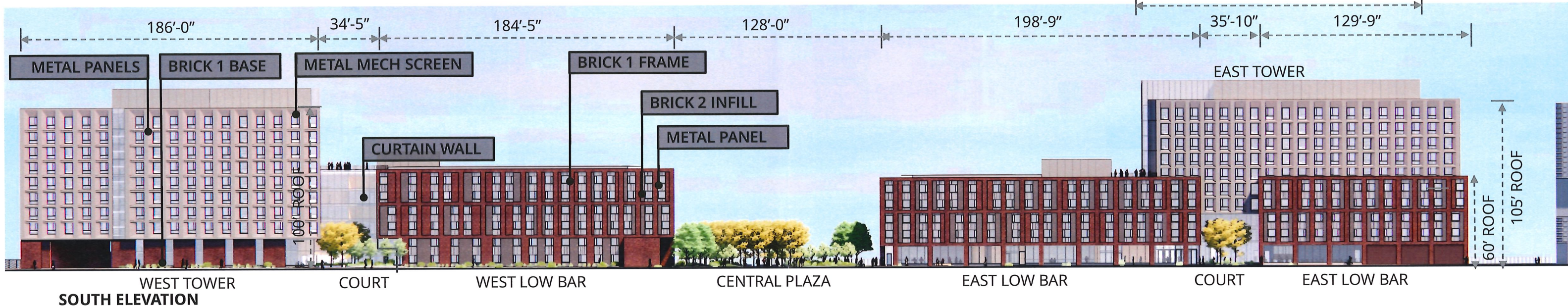


METAL WINDOWS

MODULAR BRICK 2 INFILL

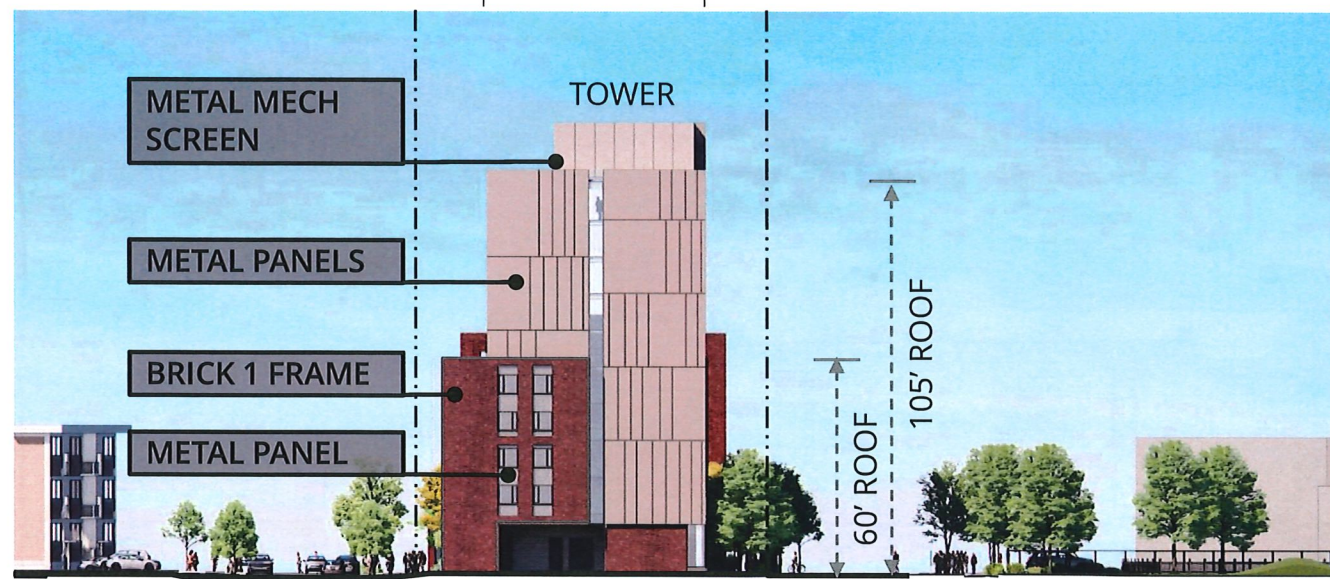
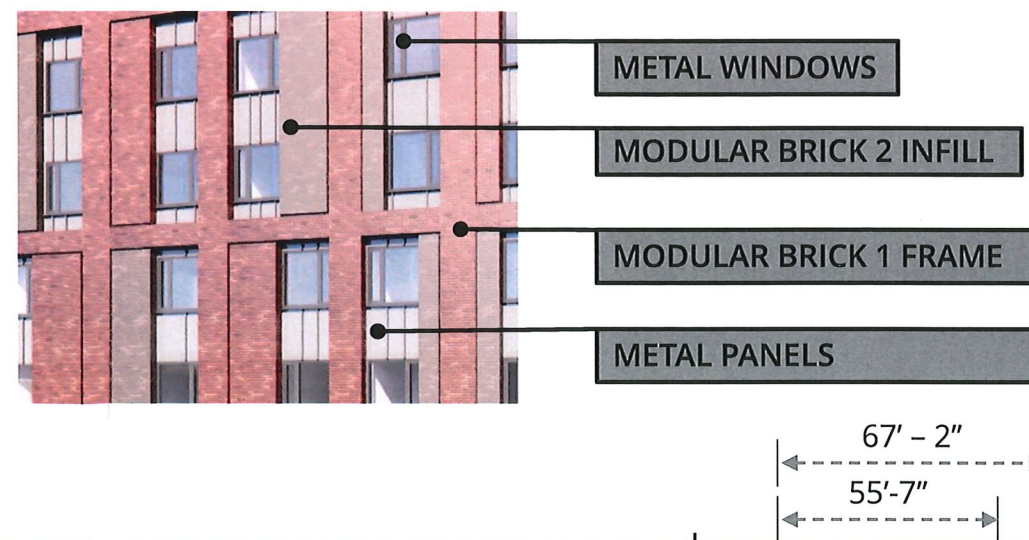
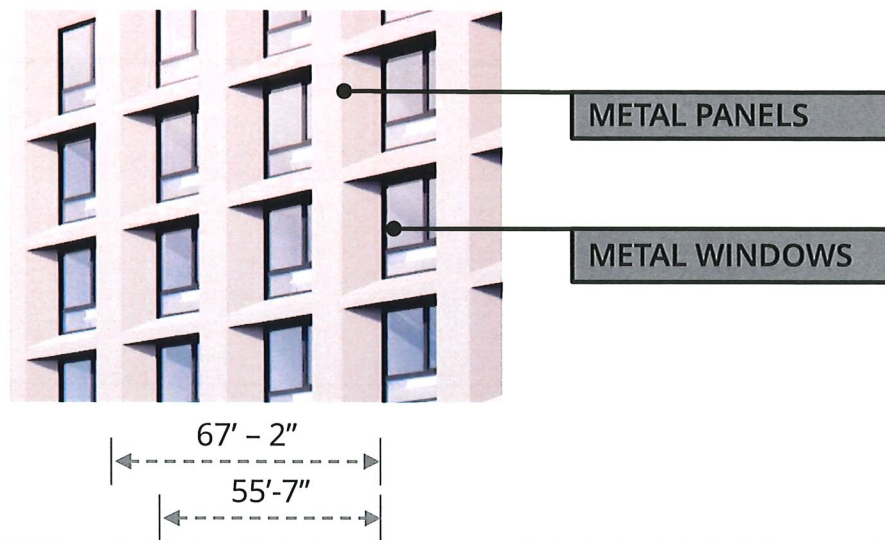
MODULAR BRICK 1 FRAME

METAL PANELS

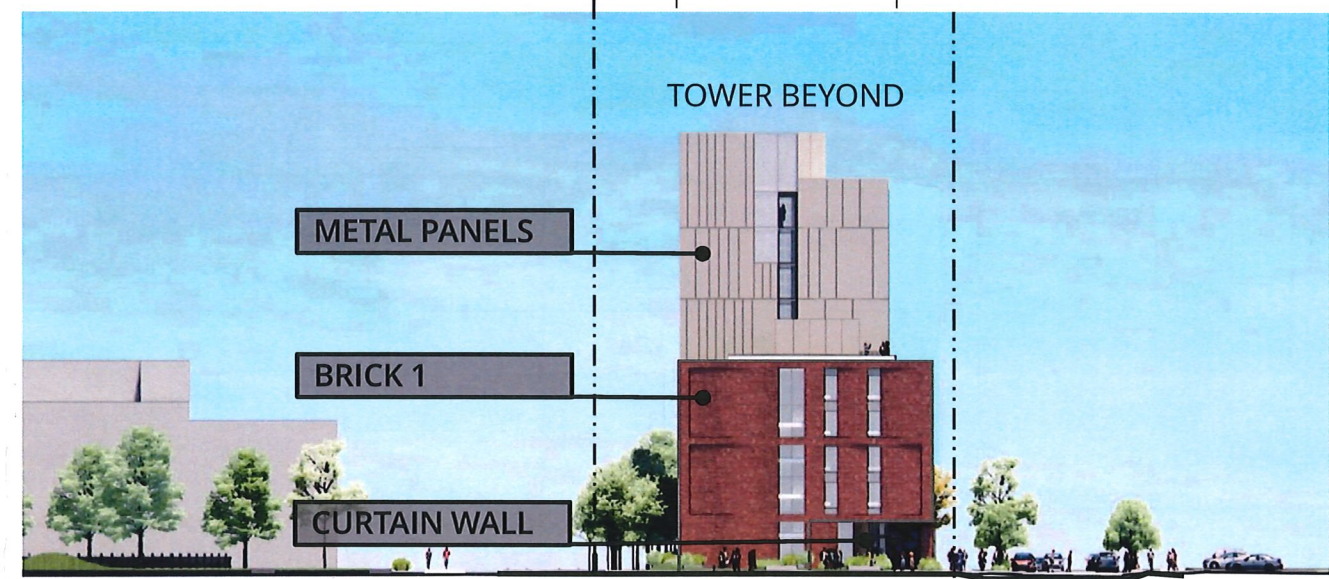


**PROPOSED DESIGN BUILDING ELEVATIONS**

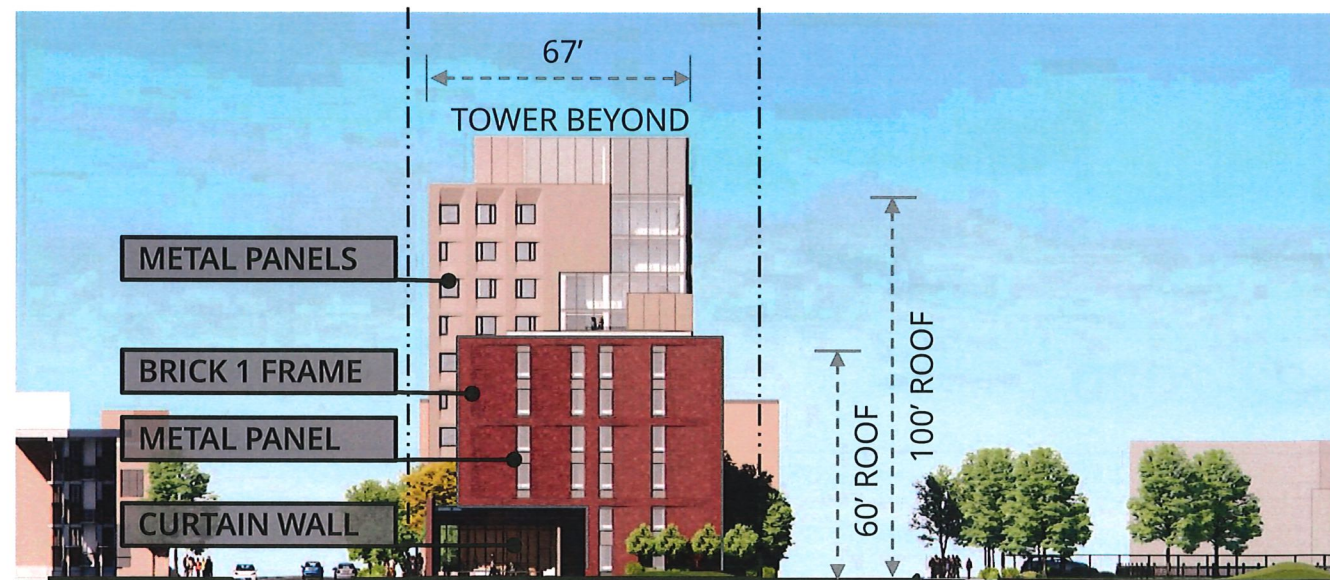
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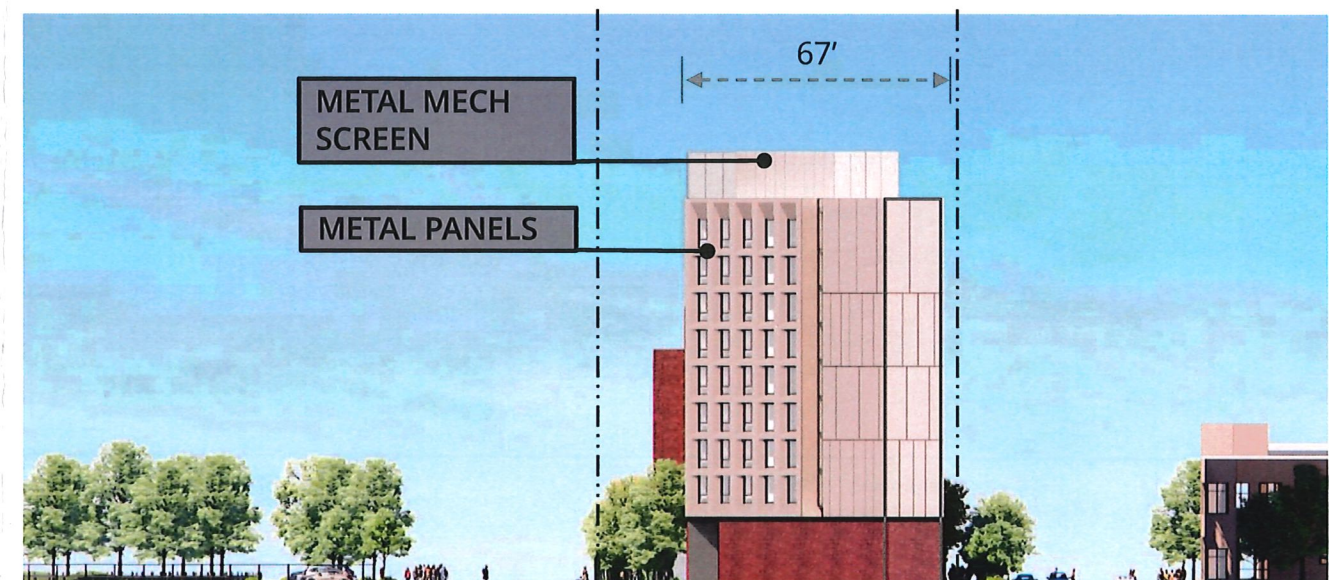
**EAST BUILDING EAST ELEVATION**



**EAST BUILDING WEST ELEVATION**



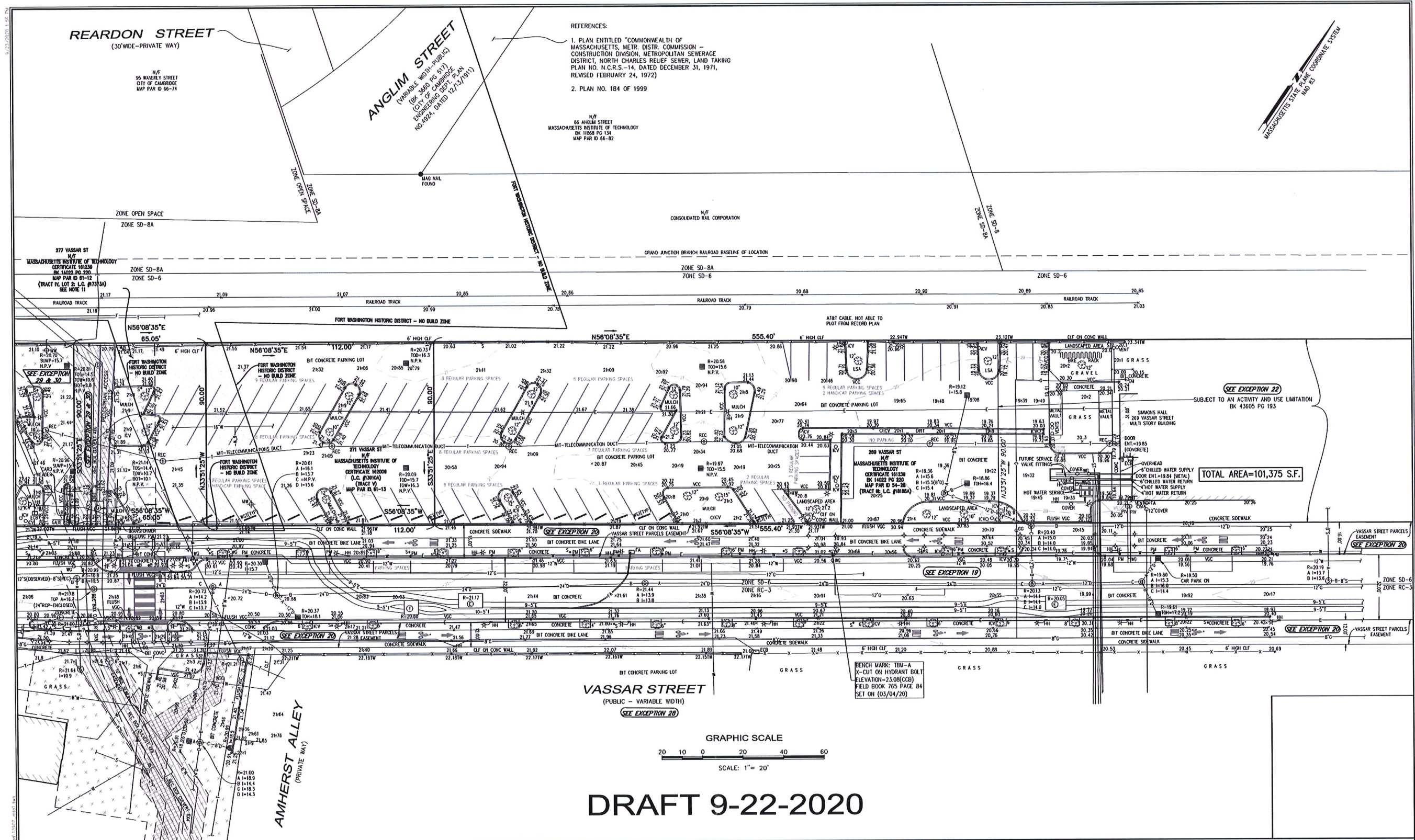
**WEST BUILDING EAST ELEVATION**



**WEST BUILDING WEST ELEVATION**

**PROPOSED DESIGN BUILDING ELEVATIONS**

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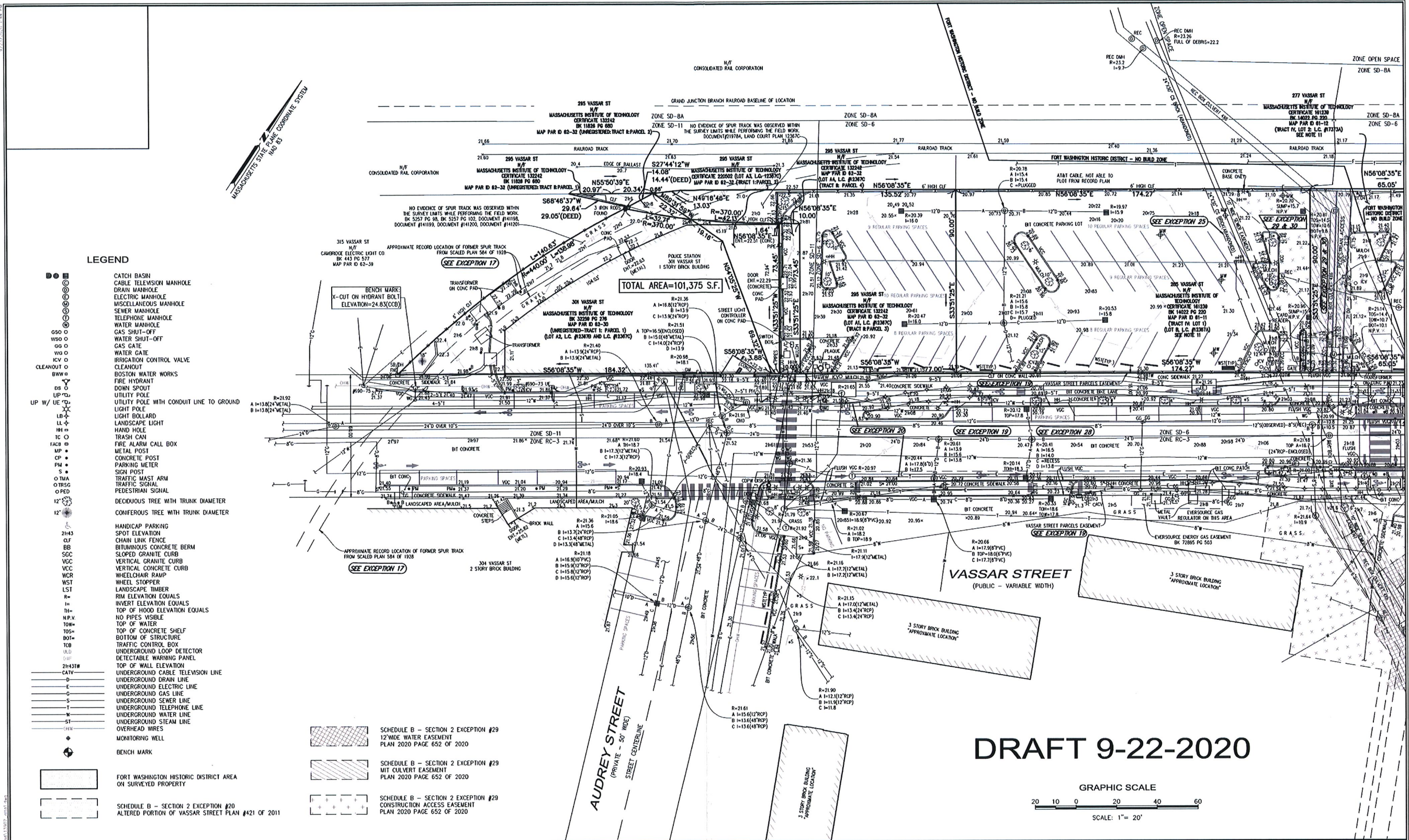
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CHECKED BY:

REV.	COMMENTS	DATE

**ALTA/NSPS LAND TITLE SURVEY**  
MASSACHUSETTS INSTITUTE OF TECHNOLOGY  
269-301 VASSAR STREET, CAMBRIDGE, MASSACHUSETTS

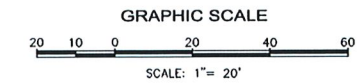
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SHEET: 2  
**ALTA-2**  
OF 4 REV.



- LEGEND**
- CATCH BASIN
  - CABLE TELEVISION MANHOLE
  - DRAIN MANHOLE
  - ELECTRIC MANHOLE
  - MISCELLANEOUS MANHOLE
  - SEWER MANHOLE
  - TELEPHONE MANHOLE
  - WATER MANHOLE
  - GAS SHUT-OFF
  - WATER SHUT-OFF
  - GAS GATE
  - WATER GATE
  - IRRIGATION CONTROL VALVE
  - CLEANOUT
  - BWS
  - FIRE HYDRANT
  - DOWN SPOUT
  - UTILITY POLE
  - UTILITY POLE WITH CONDUIT LINE TO GROUND
  - LIGHT POLE
  - LANDSCAPE LIGHT
  - HAND HOLE
  - TRASH CAN
  - FIRE ALARM CALL BOX
  - METAL POST
  - CONCRETE POST
  - PARKING METER
  - SIGN POST
  - TRAFFIC MAST ARM
  - TRAFFIC SIGNAL
  - PEDESTRIAN SIGNAL
  - DECIDUOUS TREE WITH TRUNK DIAMETER
  - CONIFEROUS TREE WITH TRUNK DIAMETER
  - HANDICAP PARKING
  - SPOT ELEVATION
  - CHAIN LINK FENCE
  - BITUMINOUS CONCRETE BERM
  - SLOPED GRANITE CURB
  - VERTICAL GRANITE CURB
  - WHEELCHAIR RAMP
  - WHEEL STOPPER
  - LANDSCAPE TIMBER
  - RIM ELEVATION EQUALS
  - INVERT ELEVATION EQUALS
  - TOP OF HOOD ELEVATION EQUALS
  - NO PIPES VISIBLE
  - TOP OF WATER
  - TOP OF CONCRETE SHELF
  - BOTTOM OF STRUCTURE
  - TRAFFIC CONTROL BOX
  - UNDERGROUND LOOP DETECTOR
  - DETECTABLE WARNING PANEL
  - TOP OF WALL ELEVATION
  - UNDERGROUND CABLE TELEVISION LINE
  - UNDERGROUND DRAIN LINE
  - UNDERGROUND ELECTRIC LINE
  - UNDERGROUND GAS LINE
  - UNDERGROUND SEWER LINE
  - UNDERGROUND TELEPHONE LINE
  - UNDERGROUND WATER LINE
  - UNDERGROUND STEAM LINE
  - OVERHEAD WIRES
  - MONITORING WELL
  - BENCH MARK
  - FORT WASHINGTON HISTORIC DISTRICT AREA ON SURVEYED PROPERTY
  - SCHEDULE B - SECTION 2 EXCEPTION #20 ALTERED PORTION OF VASSAR STREET PLAN #421 OF 2011
  - SCHEDULE B - SECTION 2 EXCEPTION #29 12' WIDE WATER EASEMENT PLAN 2020 PAGE 652 OF 2020
  - SCHEDULE B - SECTION 2 EXCEPTION #29 MIT CULVERT EASEMENT PLAN 2020 PAGE 652 OF 2020
  - SCHEDULE B - SECTION 2 EXCEPTION #29 CONSTRUCTION ACCESS EASEMENT PLAN 2020 PAGE 652 OF 2020

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CHECKED BY:		
REV.	COMMENTS	DATE
	REVISIONS	

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