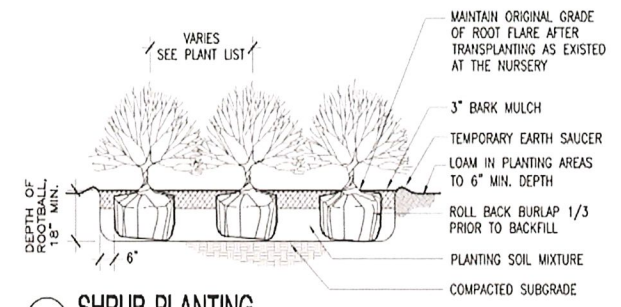
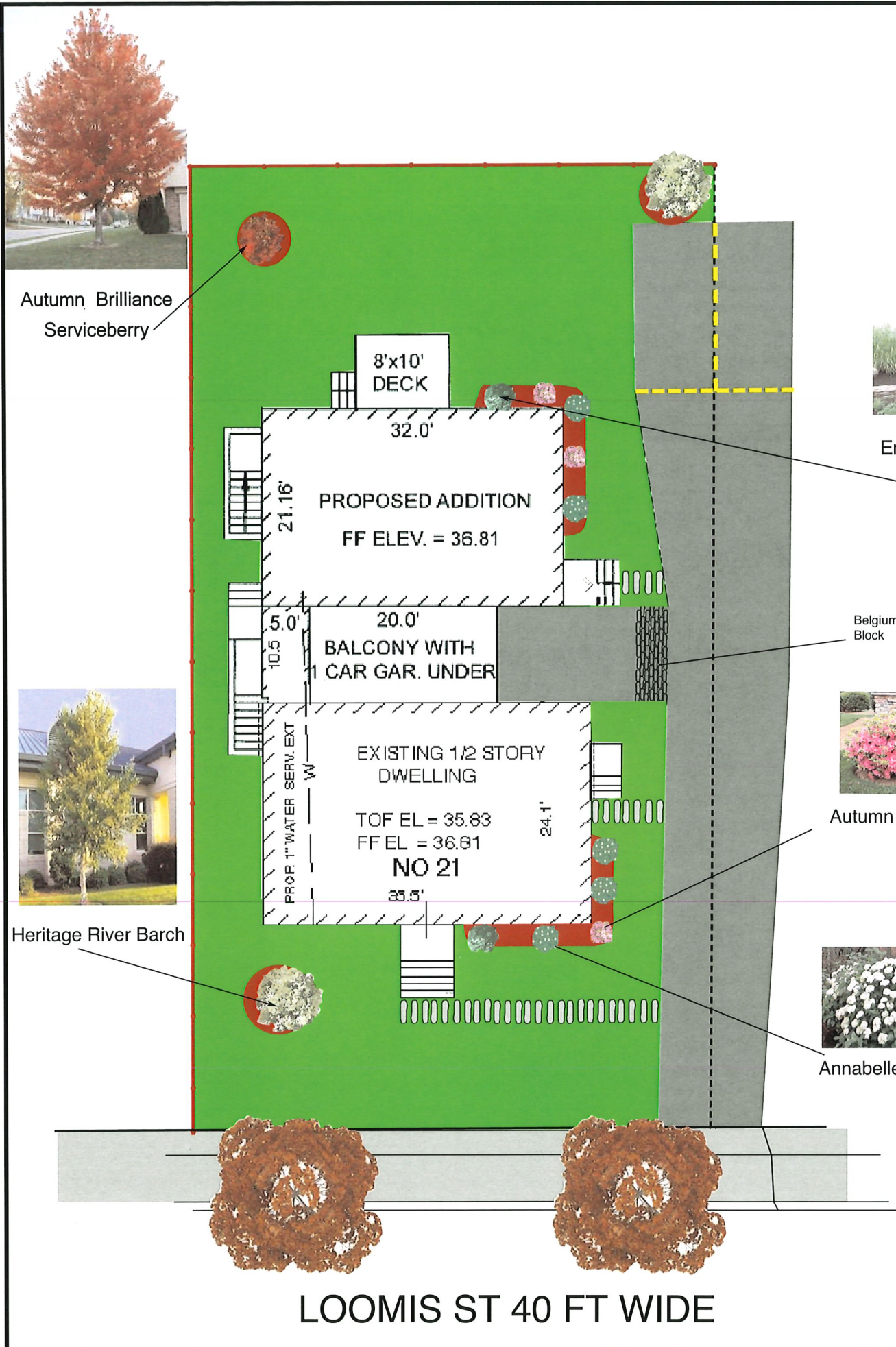


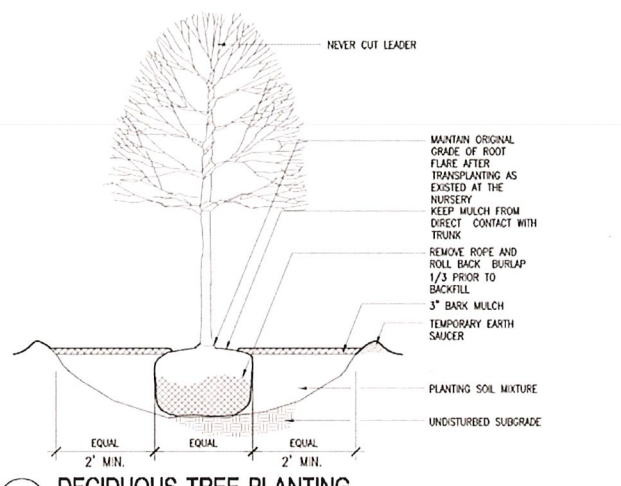
- A. Gut the entire interior of the existing house and brace the structure for moving.
- B. Lift the existing structure off the concrete foundation and set in the rear yard.
- C. While stationed in the rear yard, cut and move gable wall 6 inches on both sides.  
This will preserve the symmetry of the building while helping reduce the setback nonconformity. We shall use existing material to rebuild gables.
- D. Remove existing concrete foundation and replace with a new concrete foundation.  
The new foundation shall be placed parallel with the street. This procedure will preserve as much of the original structure as possible.
- E. Place the preserved structure on the new conforming foundation.
- F. Install Geldwin wood framed windows six over one. Windows will be similar to post-war design.
- G. Trim shall be primed pine and shall match post-war construction.
- H. The house shall be sided with red cedar shingles identical to the original.
- I. Shutters shall match shutters of the period.
- J. Front door shall be pine with 6 panels painted.
- K. The existing front porch including brick stairway and cast iron handrail shall be eliminated.
- L. The new stairway and landing to the structure shall consist of pressure-treated wood veneered with primed pine, trim, mahogany steps, cedar posts, and cedar handrails and hemlock balustrads.
- M. Roofing shall consist off 3 tab asphalt shingles similar to post war construction.
- N. Landscaping including plantings, walkways, and driveways shall be consistant to post war conditions.



Perspective drawing depicting the preservation and development of 21 Loomis St Cambridge



**4 SHRUB PLANTING**  
SCALE: NOT TO SCALE



**3 DECIDUOUS TREE PLANTING**  
SCALE: NOT TO SCALE

- All plants shall be located as shown on the plan.
- Final grading of topsoil shall be completed before any planting commences.
- All new plantings shall be continuously watered. A watering schedule shall be maintained by the building contractor.
- If planting is unavailable and requires substitution, the landscape contractor must receive an approval of the substitution from the building contractor.
- The contractor shall verify location of all plantings on the plan and locate these areas for the landscaping contractor.
- In the larger plantings, the root shall remain 3" above finished grade. Sufficient room shall be allowed around the root ball to receive planting mix.
- All mulch beds around plantings shall be shaped and edged. They shall receive a minimum of 2" bark mulch.
- All planting mix shall have a ratio of two parts topsoil and one part compost.
- All plantings shall be planted in strict adherence to the instructions of the nurseries that supplied the planting.
- Stakes will be located around tree trunks and shall be tied off to the stakes to give planting stability.
- The entire lawn areas shall be hydroseeded and shall be watered twice a day.
- Both the parking spaces and the front walkway shall be brick-paved with a red holland brick. The perimeter of the parking spaces shall consist of a soldier course while the body of the area shall have a herringbone design. The substrata shall include a 4" layer of sand and cement.
- A 3-foot-long area in front of the driveway shall receive Belgium block granite laid in a concrete mix and joints filled with mortar mix. This will serve to protect the driveway from ice and snow deris from tires before entering the driveway.
- The driveway shall consist of two coats of 2" asphalt layers, on top of 4" crushed stone.

Preliminary Landscape Plan

PLAN NO. 419 OF 2018

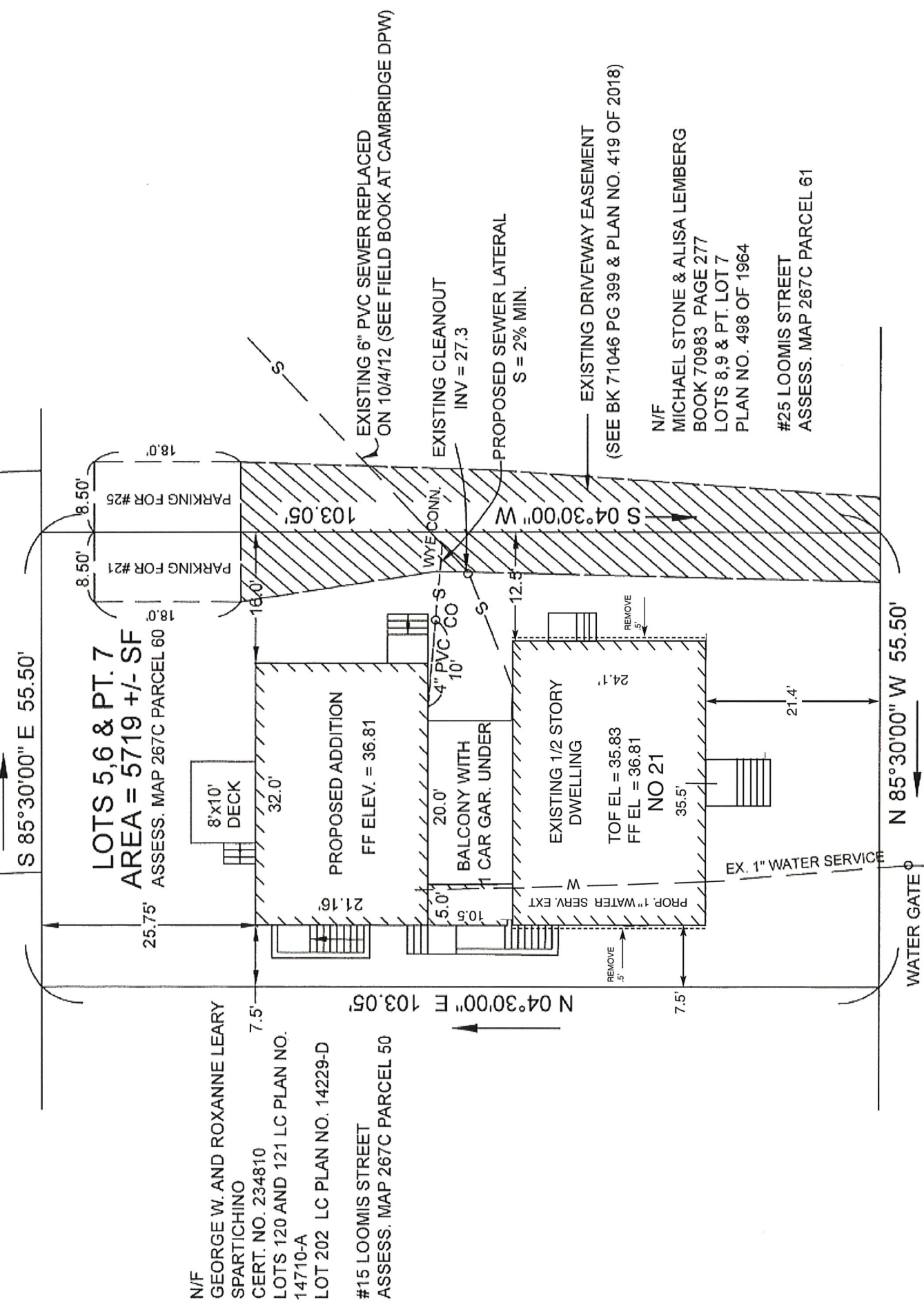
N/F  
NEIL BENECK AND  
MARIE SAINT - HILAIRE  
CERT. NO. 215905  
LOT 100 - LC PLAN NO. 5841-K

#93 NORMANDY AVE  
ASSESS. MAP 267A PARCEL 263

N/F  
MICHAEL B & SUSAN M. MURPHY  
CERT. NO. 203865  
LOT 60 - LC PLAN NO. 5841-B

#103 NORMANDY AVE  
ASSESS. MAP 267A PARCEL 204

NORMANDY  
TERRACE



**LOTS 5,6 & PT. 7**  
**AREA = 5719 +/- SF**  
ASSESS. MAP 267C PARCEL 60

**PROPOSED ADDITION**  
FF ELEV. = 36.81

**EXISTING 1/2 STORY DWELLING**  
TOF EL = 35.83  
FF EL = 36.81  
**NO 21**

EXISTING 6" PVC SEWER REPLACED  
ON 10/4/12 (SEE FIELD BOOK AT CAMBRIDGE DPW)

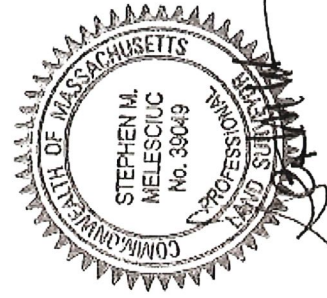
EXISTING DRIVEWAY EASEMENT  
(SEE BK 71046 PG 399 & PLAN NO. 419 OF 2018)

N/F  
MICHAEL STONE & ALISA LEMBERG  
BOOK 70983 PAGE 277  
LOTS 8,9 & PT. LOT 7  
PLAN NO. 498 OF 1964  
#25 LOOMIS STREET  
ASSESS. MAP 267C PARCEL 61

**LOOMIS STREET**  
(PUBLIC - 40.00' WIDE)

SMH  
RIM = 31.52  
(BENCHMARK)

6" WATER LINE



- NOTES:**
- 1.) RECORD OWNER: 21 LOOMIS STREET LLC
  - 3.) DEED REFERENCE: BOOK 77733 PAGE 315
  - 3.) PLAN REFERENCE: PLAN NO. 498 OF 1964  
PLAN NO. 419 OF 2018
  - 4.) CO = CLEANOUT WG = WATER GATE

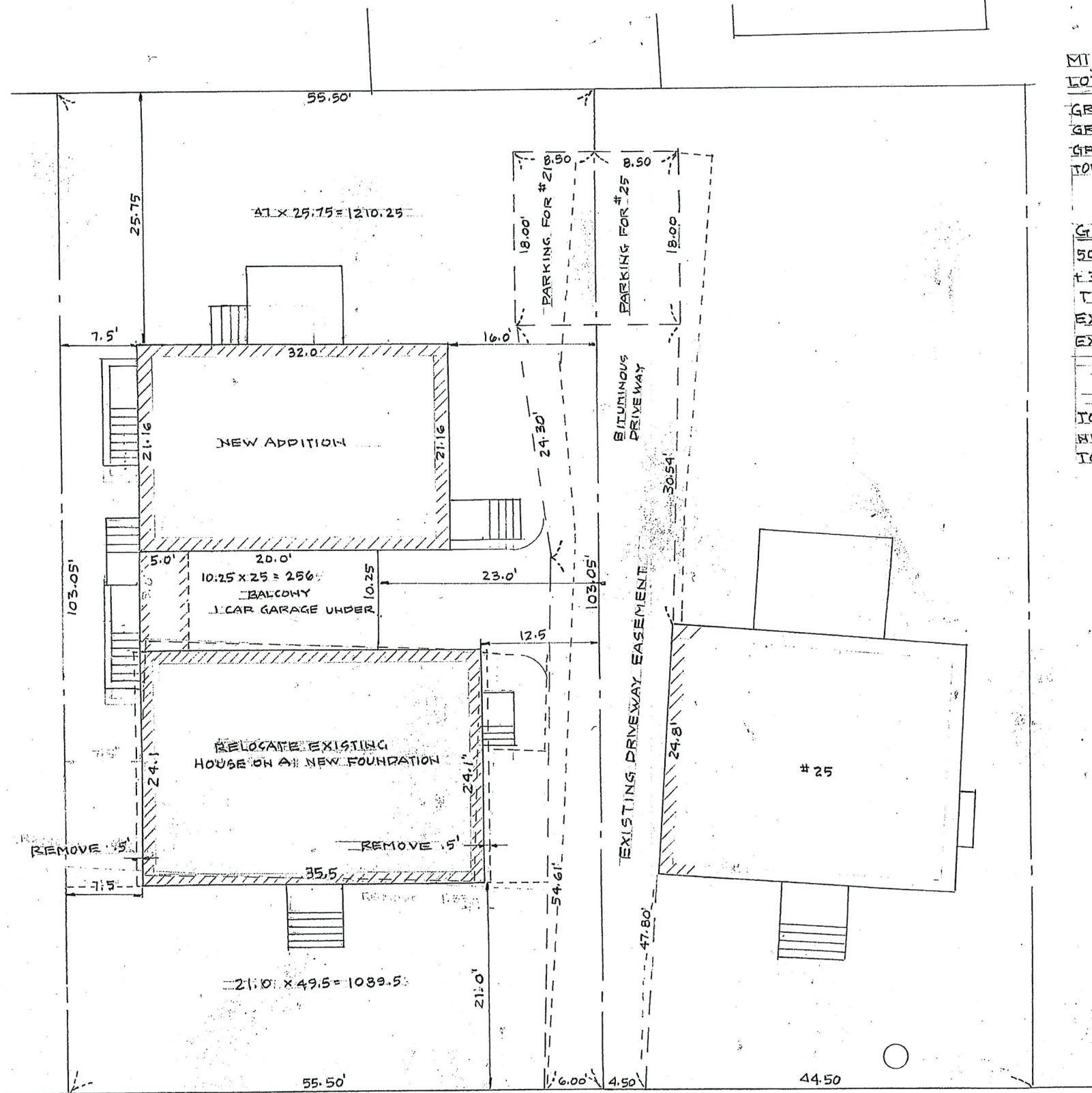
**PLOT PLAN SHOWING  
PROPOSED ADDITION**

**IN  
CAMBRIDGE, MA  
21 LOOMIS STREET**



SCALE: 1" = 15'-0"  
April 23 2022

D & A SURVEY ASSOCIATES, INC.  
P.O. BOX 621 MEDFORD, MA 02155  
(781) 324 - 9566



MINIMUM OPEN SPACE  
 LOT 5719.27 S.F. 40% = 2287.71 S.F.  
 GRID A 21.00 x 49.5 = 1039.5  
 GRID B 47 x 25.75 = 1210.25  
 GRID C 10.25 x 25 = 256.25  
 TOTAL OPEN SPACE = 2505.75

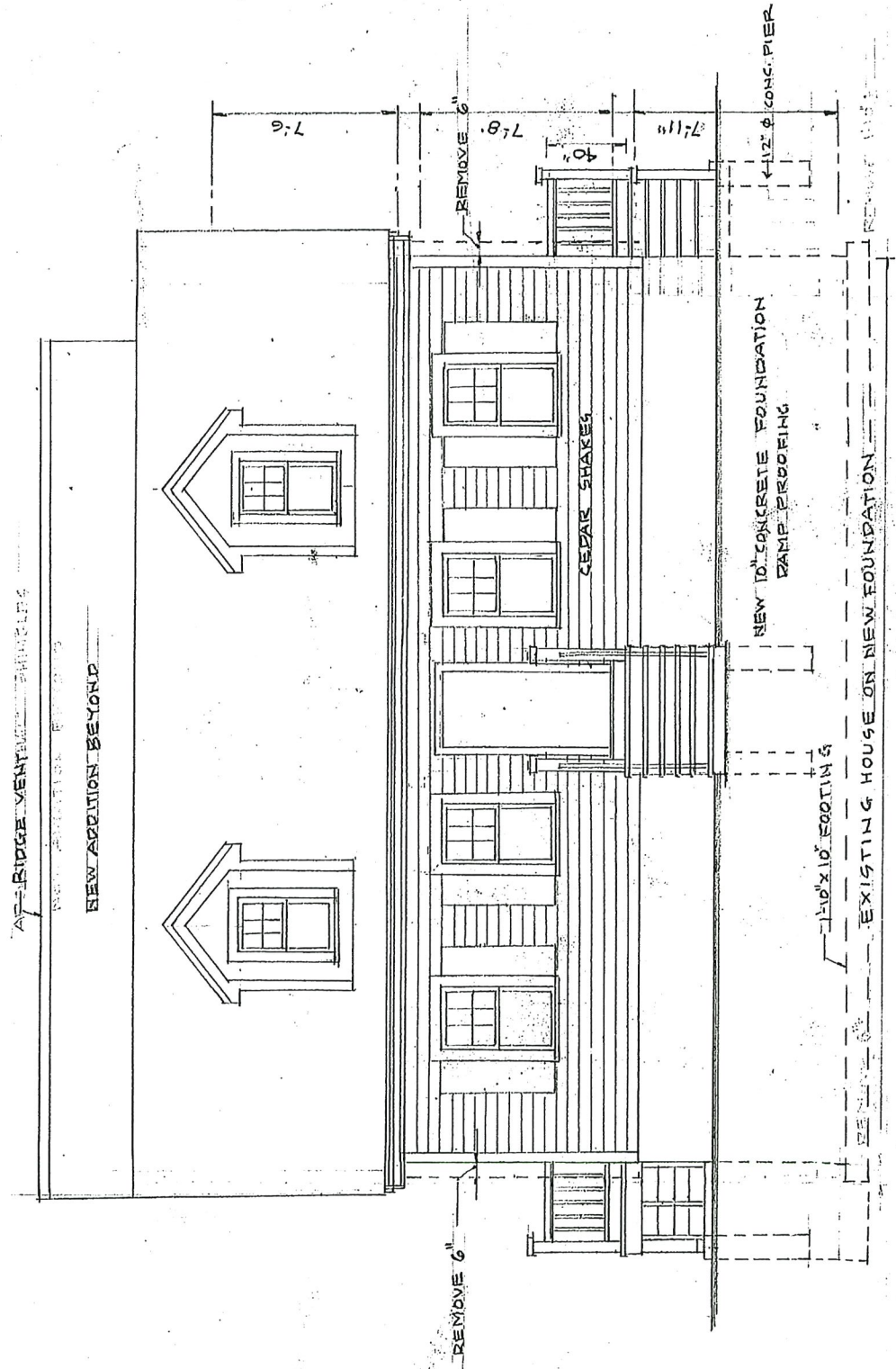
GROSS SQUARE FOOTAGE LOT AREA 5719.27  
 50% OF FIRST 5000 S.F. OF LOT AREA = 2500 S.F.  
 + 35% OF REMAINING LOT AREA = 251.7 S.F.  
 TOTAL ALLOWED 2751.7  
 EXISTING 1ST FLOOR 24.1 x 35.5 = 855.55  
 EXISTING 2ND FLOOR 10 x 35.5 = 355  
 " " BATH 7 x 12 = 84  
 " " DORMERS 5 x 7 x 2 = 70  
 509 509 S.F.  
 TOTAL EXISTING HOUSE = 1364.55  
 NEW ADDITION 21.16 x 32 x 2 + = 1375.25  
 TOTAL GROSS SQUARE FOOTAGE = 2739.55

SITE PLAN  
 CAMBRIDGE MASSACHUSETTS  
 INFORMATION FROM A PLAN BY  
 VTP ASSOCIATES LAND SURVEYORS  
 DATED APRIL 30, 2018  
 0 5 10 20 30  
 SCALE 1/8" = 1'-0"

LOOMIS STREET  
 (40' WIDE PUBLIC)

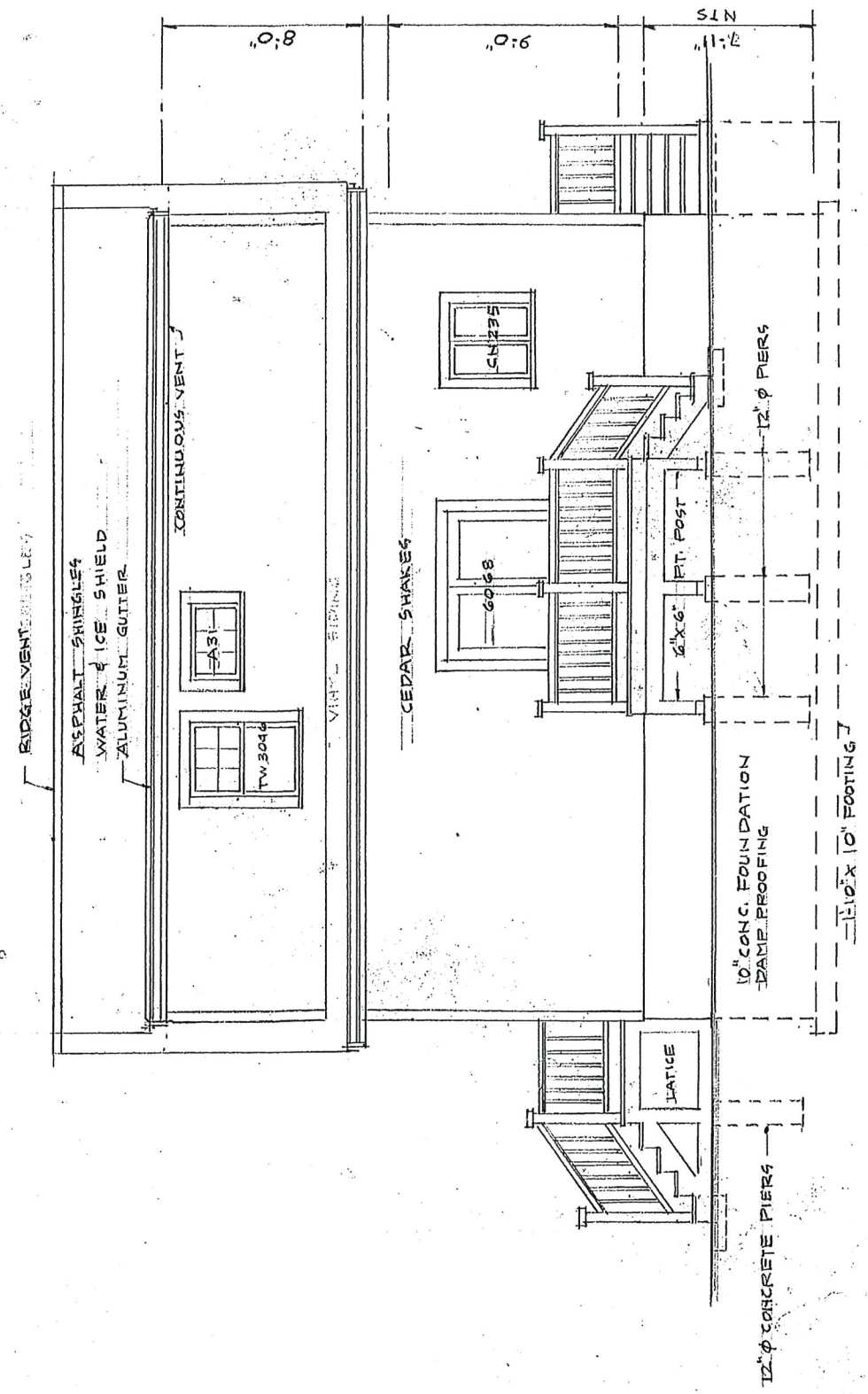
SCALE 1/8" = 1'-0"  
 DATE 7-8-2021  
 RESIDENTIAL DESIGNS BY  
 ROBERT M. CONNELL  
 22 NORTH ST WILMINGTON, MA.  
 ADDITION TO HOME FOR  
 EMERY HOMES L.L.C.  
 21 LOOMIS STREET CAMBRIDGE, MA.  
 C1

FRONT VIEW



FRONT ELEVATION

FRONT VIEW



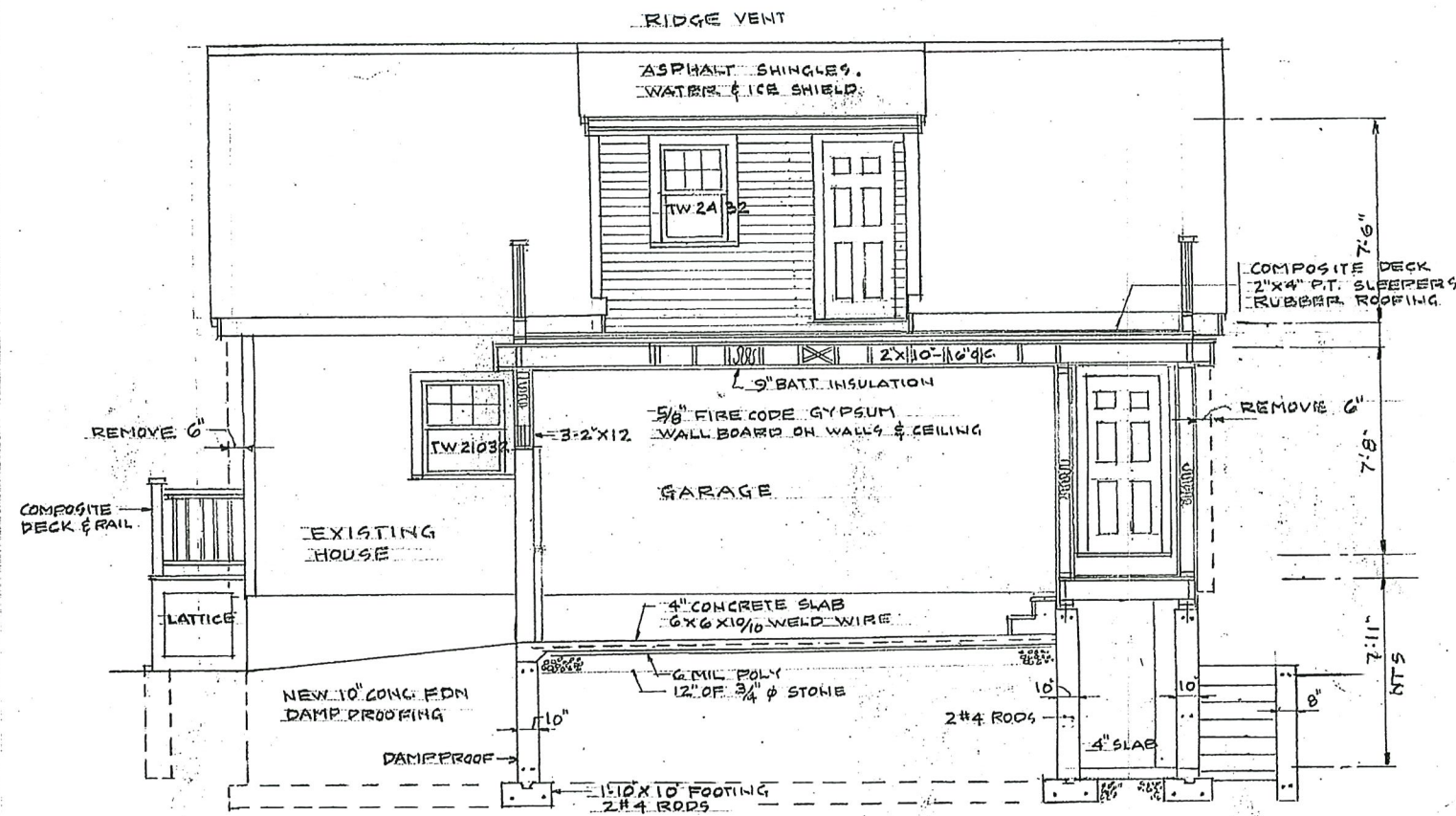
REAR ELEVATION

REV. 5-11-2022

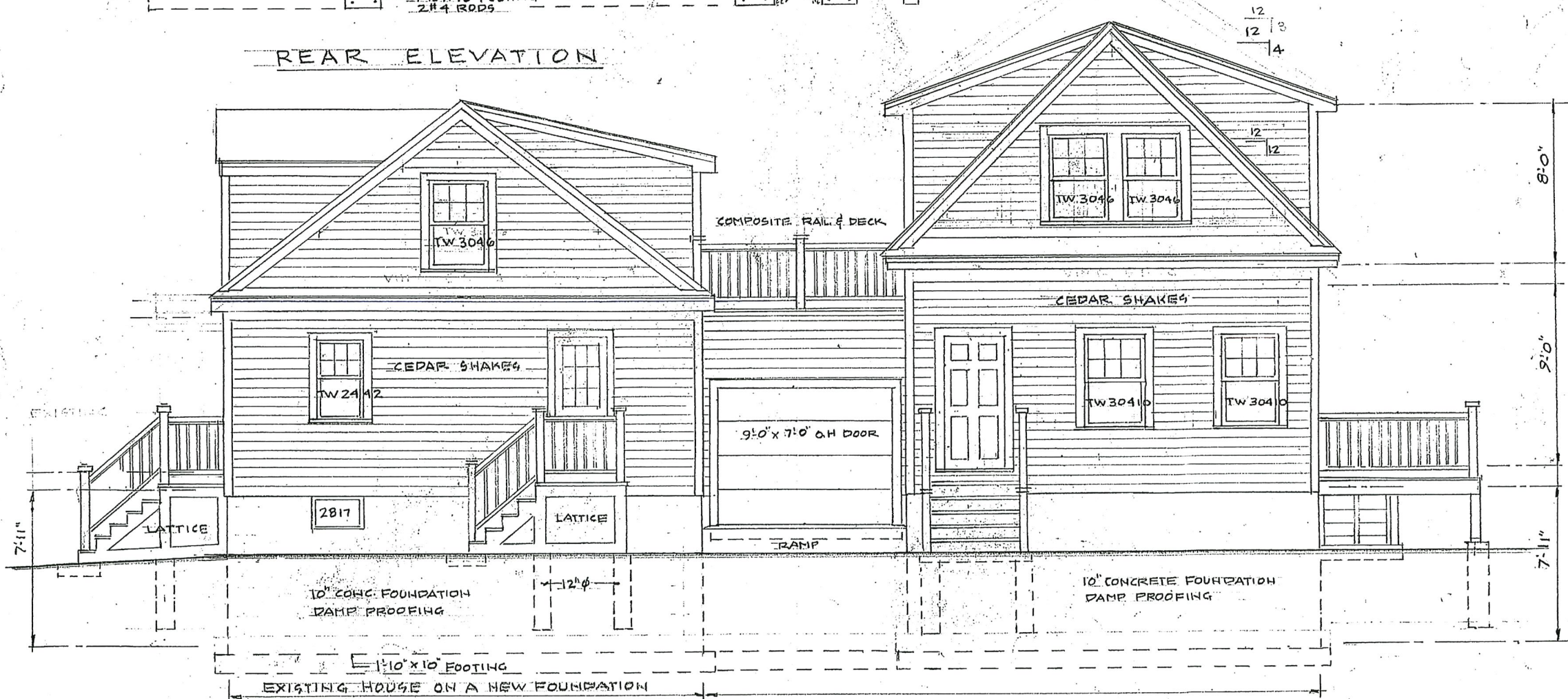
ADDITION TO HOME FOR  
EMERY HOMES LLC  
21 LOOMIS ST. CAMBRIDGE, MA.

RESIDENTIAL DESIGN BY  
ROBERT M. CONNELL  
22 NORTH ST WILMINGTON MA.

SCALE 1/4"=1'-0"  
DATE 7-8-2021  
A1



REAR ELEVATION

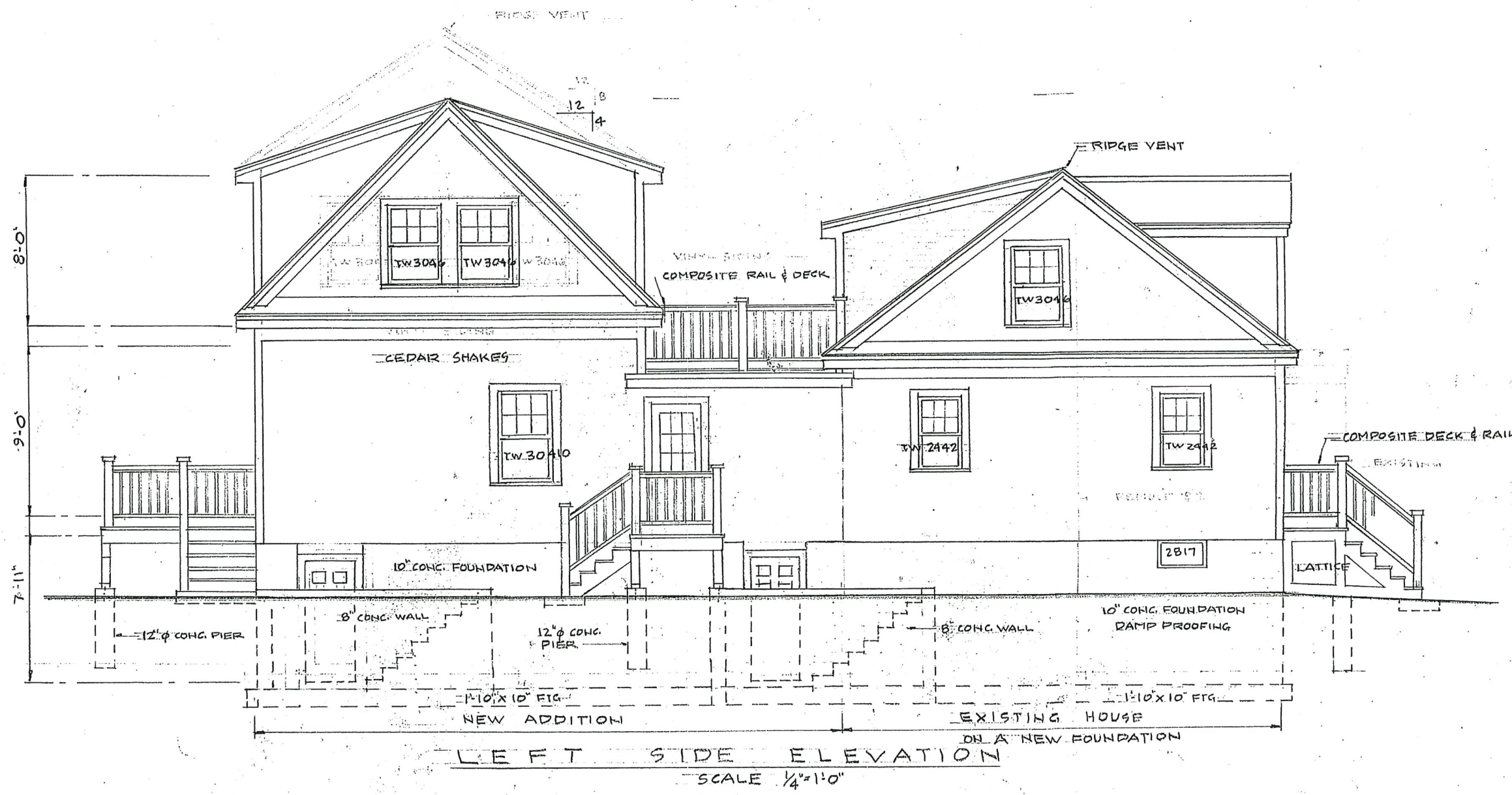


RIGHT SIDE ELEVATION

SCALE 1/4" = 1'-0"  
DATE 7-8-2021

RESIDENTIAL DESIGNS BY  
ROBERT M. CONNELL  
22 NORTH ST. WILMINGTON, MA.

ADDITION TO HOME FOR  
EMERY HOMES L.L.C  
21 LOOMIS ST. CAMBRIDGE, MA.

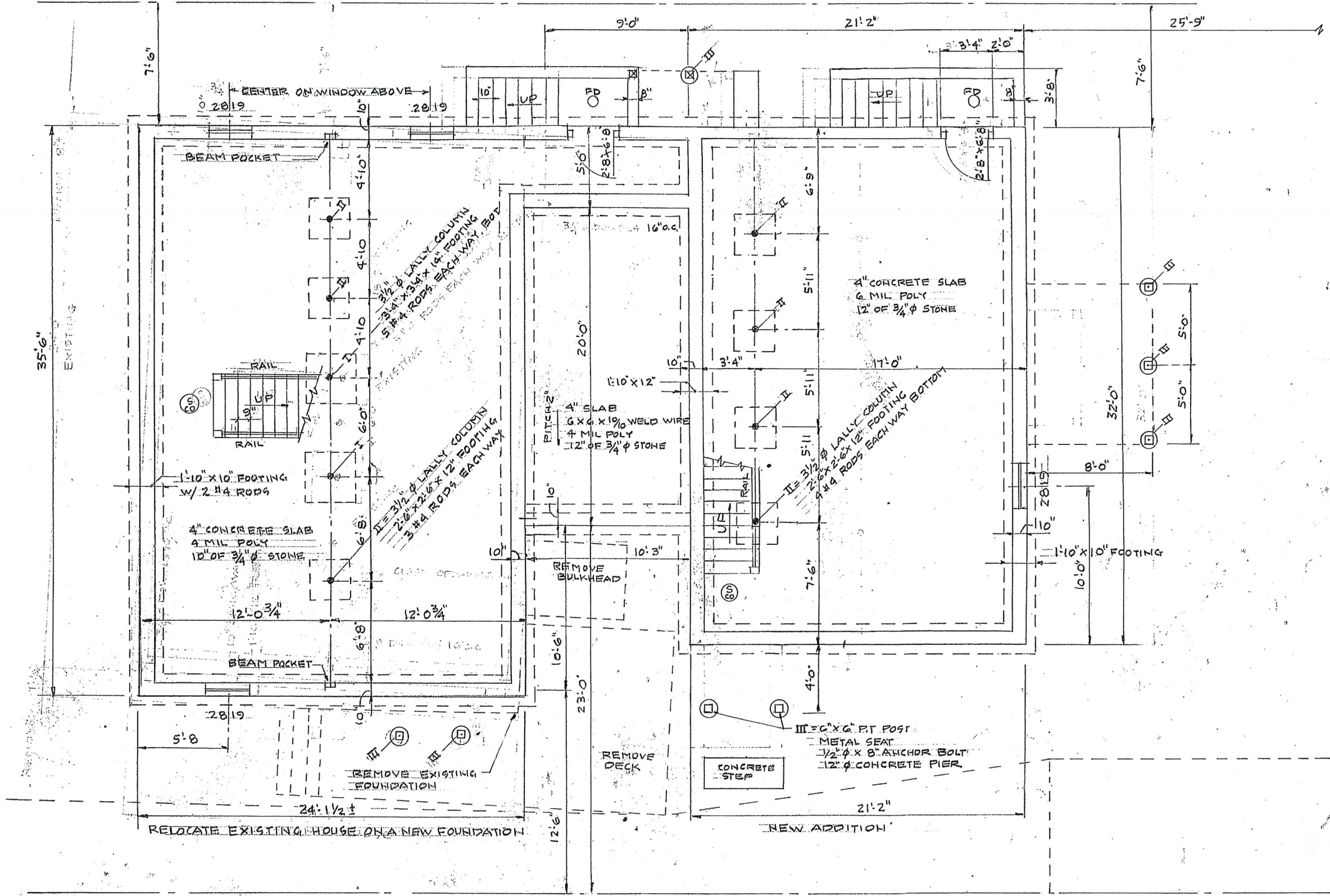


SCALE 1/4"=1'-0"  
 DATE 7-8-2021  
 A3

RESIDENTIAL DESIGNS BY  
 ROBERT M. CONNELL  
 22 NORTH ST. WILMINGTON, MA.

ADDITION TO HOME FOR  
 EMERY HOMES, LLC.  
 21 LOOMIS STREET, CAMBRIDGE, MA.

A3



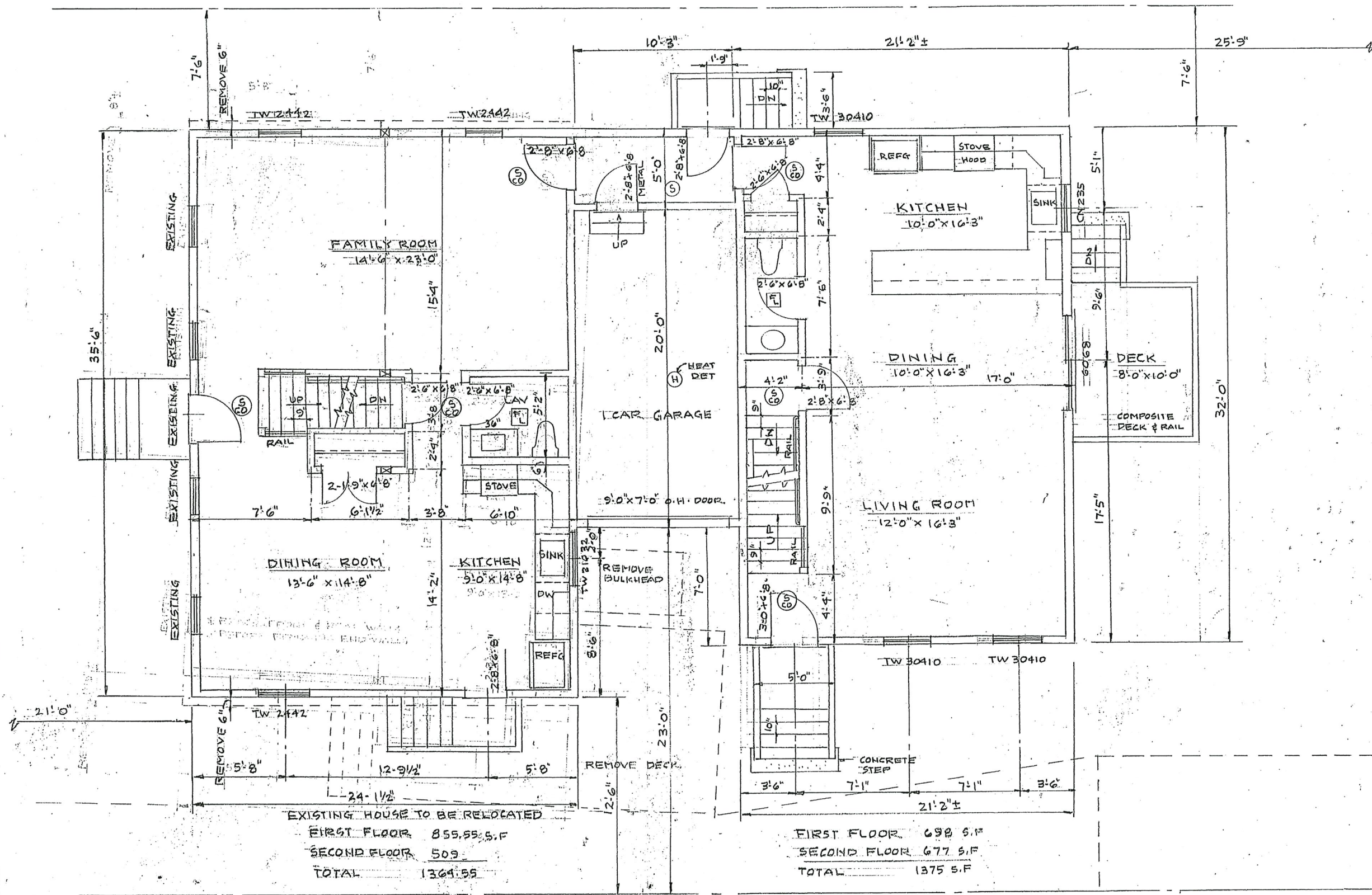
FOUNDATION / BASEMENT PLAN  
SCALE 1/4" = 1'-0"

SCALE 1/4" = 1'-0"  
DATE 7-8-2021  
A4

RESIDENTIAL DESIGNS BY  
ROBERT M. CONNELL  
22 NORTH ST. WILMINGTON, MA.

ADDITION TO HOME FOR  
TEVERY HOMES L.L.C.  
21 LOOMIS ST. CAMBRIDGE, MA.  
A4





FIRST FLOOR PLAN

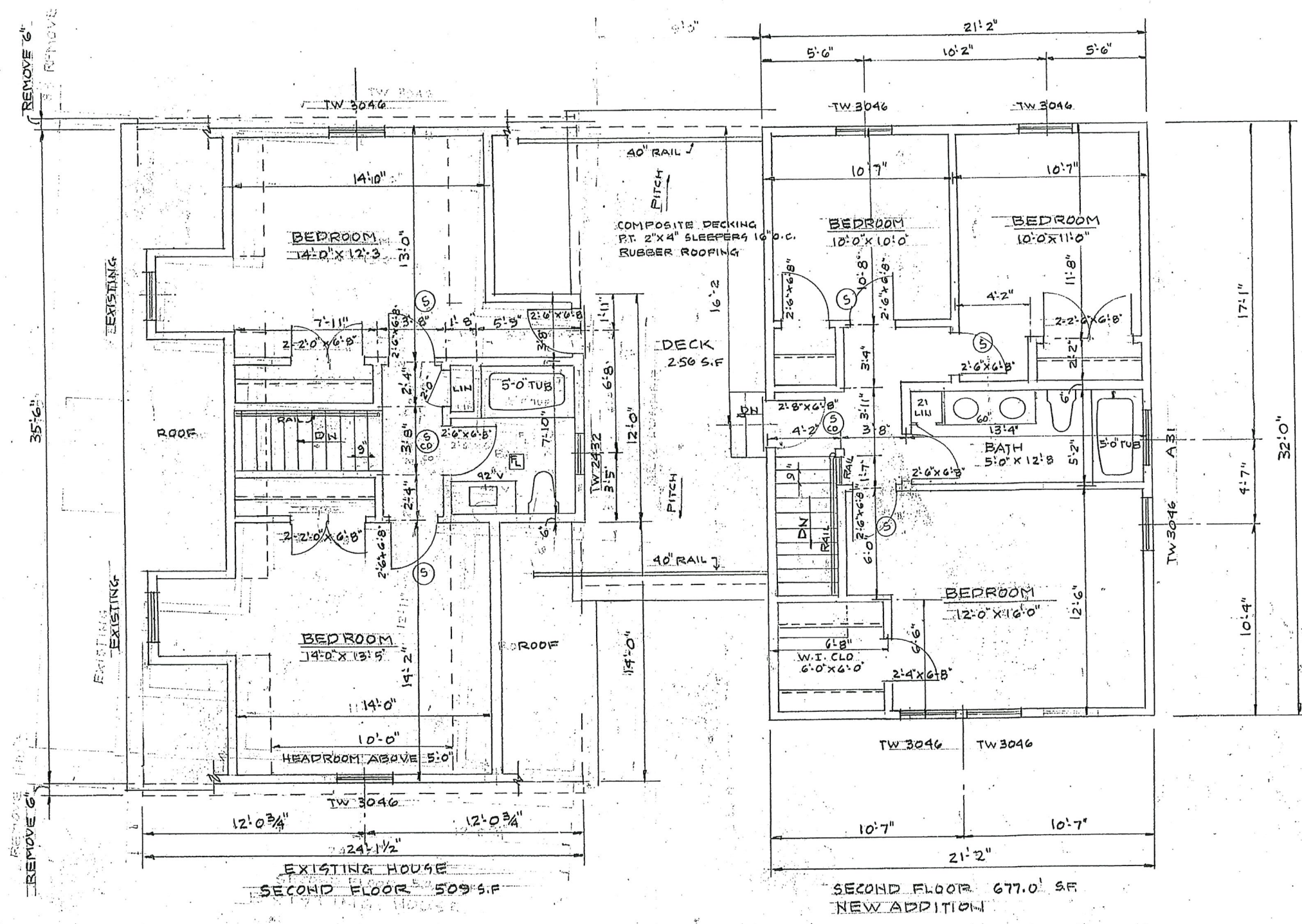
SCALE 1/4"=1'-0"

ADDITION TO HOME FOR  
EMERY HOMES, LLC  
21 LOONIS ST. CAMBRIDGE MA

RESIDENTIAL DESIGNS BY  
ROBERT M. CONNELL  
22 NORTH ST. WILMINGTON, MA.

SCALE 1/4"=1'-0"  
DATE 7-8-2021  
A 5

A 5

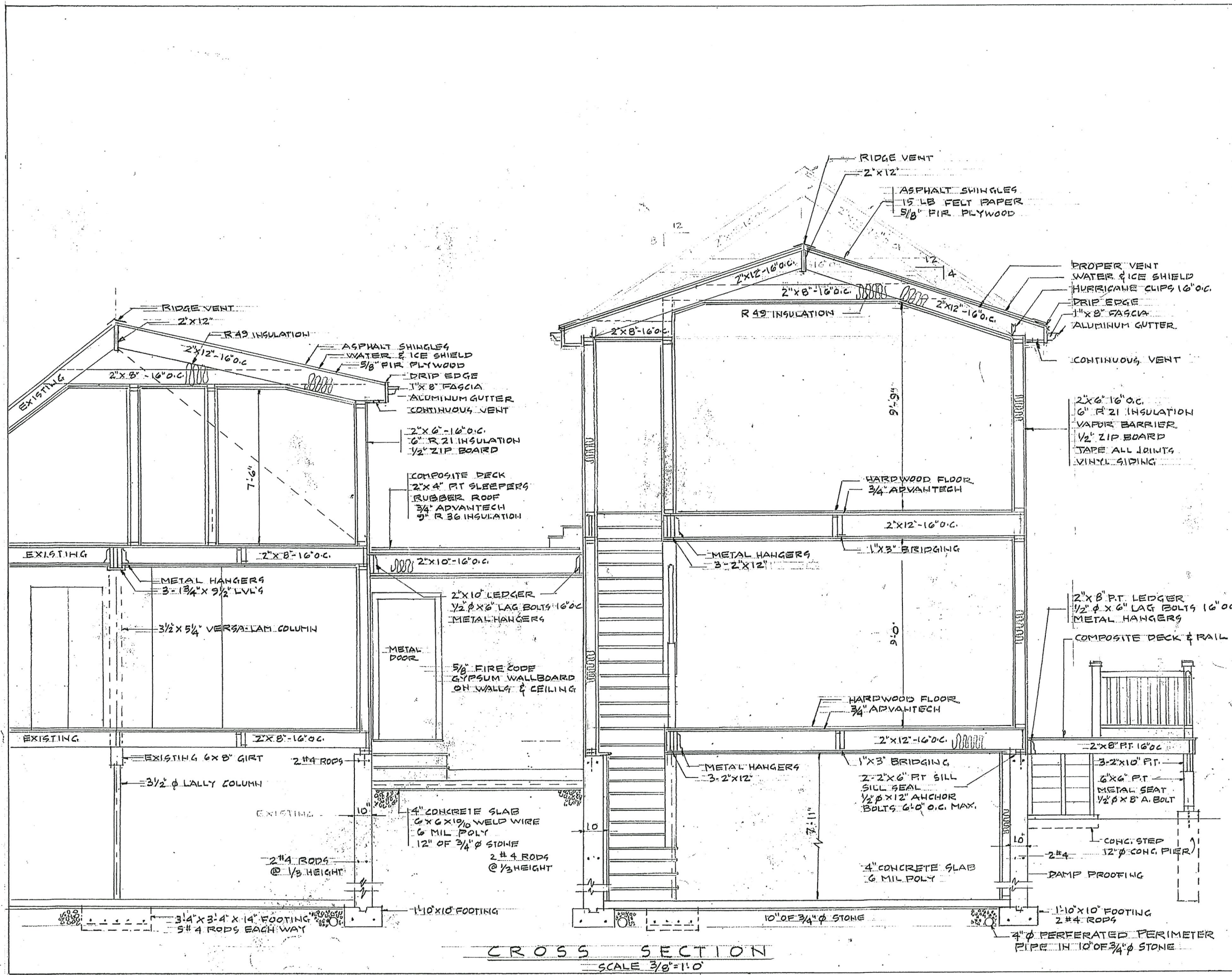


EXISTING HOUSE  
SECOND FLOOR 509 S.F.

NEW ADDITION  
SECOND FLOOR 677.0 S.F.

SECOND FLOOR PLAN  
SCALE 1/4" = 1'-0"

ADDITION TO HOME FOR EMERY HOMES, LLC 21 LOOMIS ST. CAMBRIDGE, MA	RESIDENTIAL DESIGNS BY ROBERT M. CONNELL 22 NORTH ST. WILMINGTON, MA	SCALE 1/4" = 1'-0"
		DATE 7-8-2021
		A 6



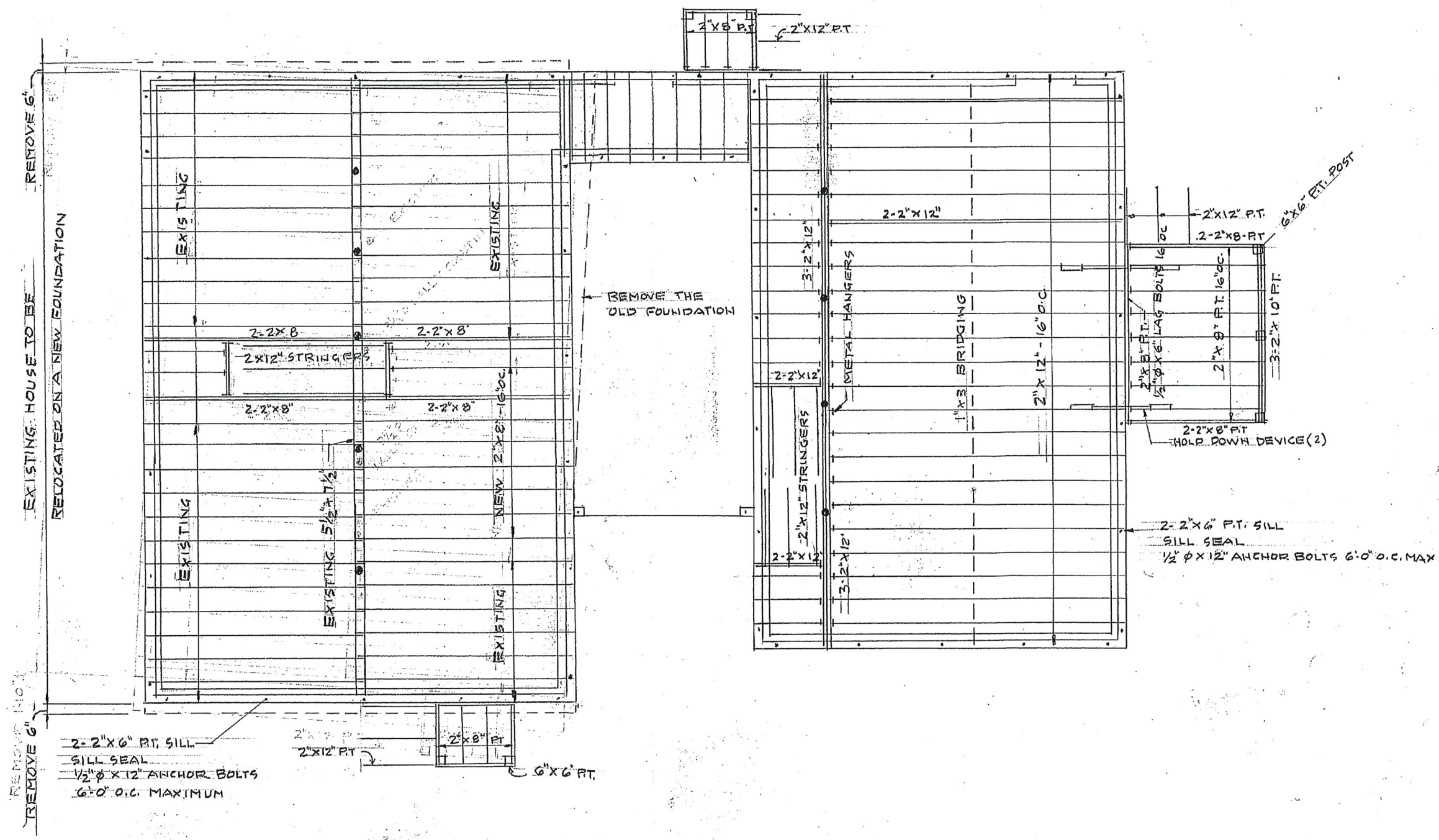
CROSS SECTION  
SCALE 3/8"=1'-0"

SCALE 3/8"=1'-0"  
DATE 7-8-2021  
A 7

RESIDENTIAL DESIGNS BY  
ROBERT M. CONNELL  
22 NORTH ST. WILMINGTON, MA.

ADDITION TO HOME FOR  
EMERY HOMES L.L.C.  
21 LLOOMIS ST  
CAMBRIDGE, MA.

A 7



REMOVE 6"  
REMOVE 6"

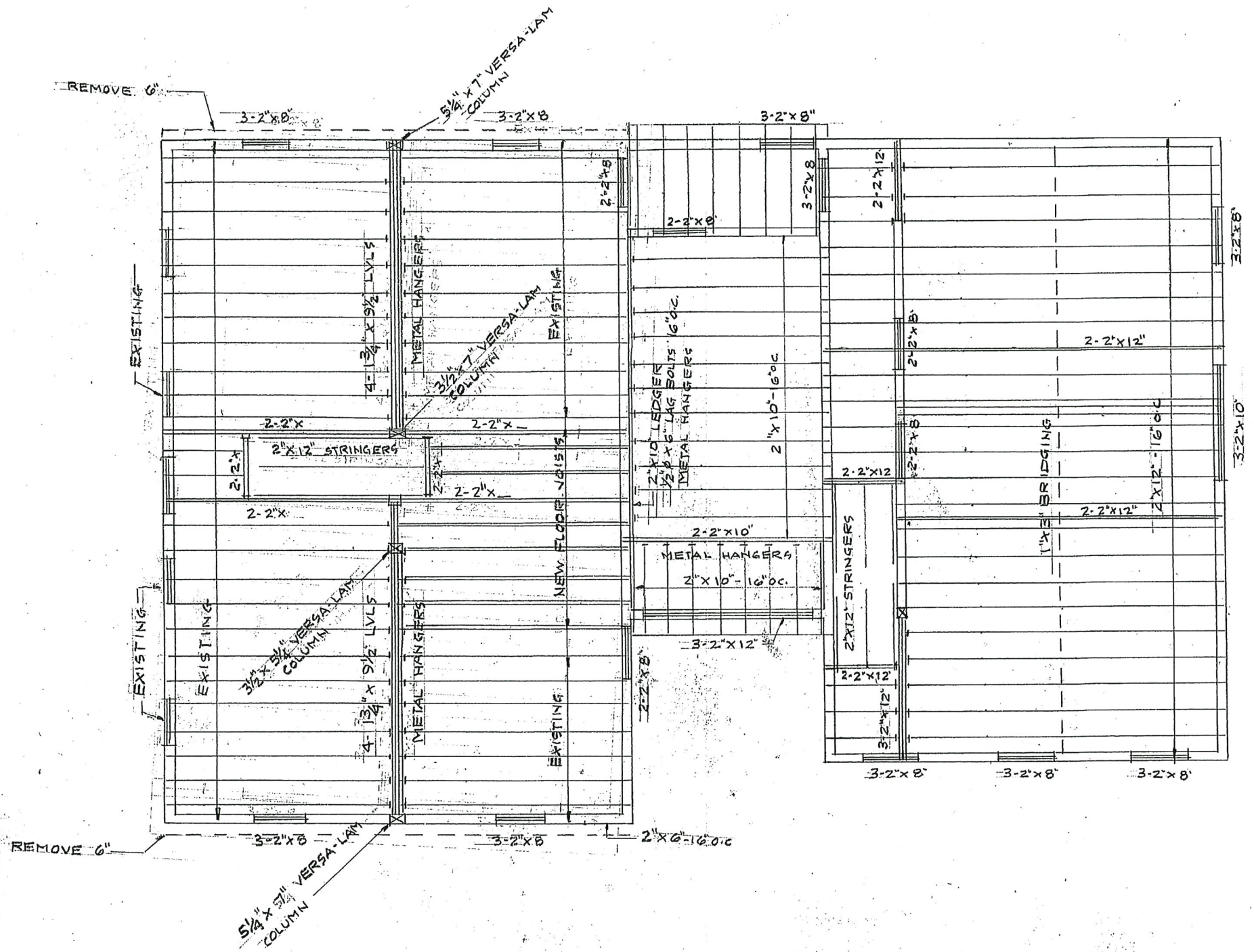
2-2"x6" P.T. SILL  
SILL SEAL  
1/2" Ø X 12" ANCHOR BOLTS  
6'-0" O.C. MAXIMUM

FIRST FLOOR FRAMING  
SCALE 1/4"=1'-0"

ADDITION TO HOME FOR  
EMERY HOMES L.L.C.  
21 LOOMIS ST. CAMBRIDGE, MA

RESIDENTIAL DESIGNS BY  
ROBERT M. CONNELL  
22 NORTH ST WILMINGTON, MA

SCALE 1/4"=1'-0"  
DATE 7-8-2021  
A 8

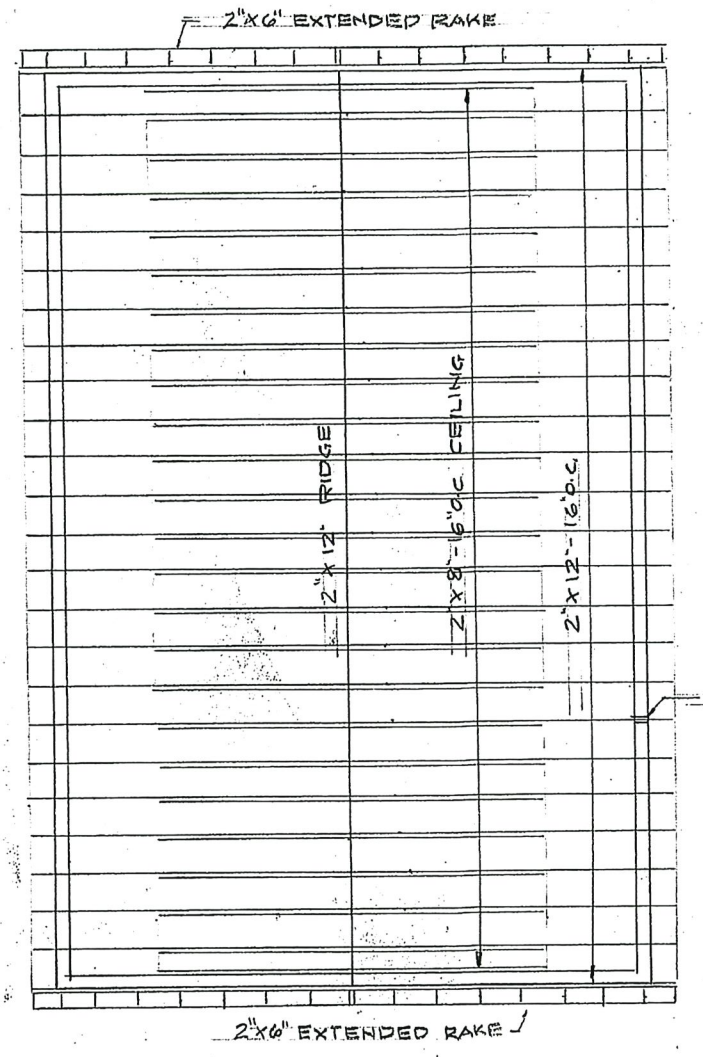
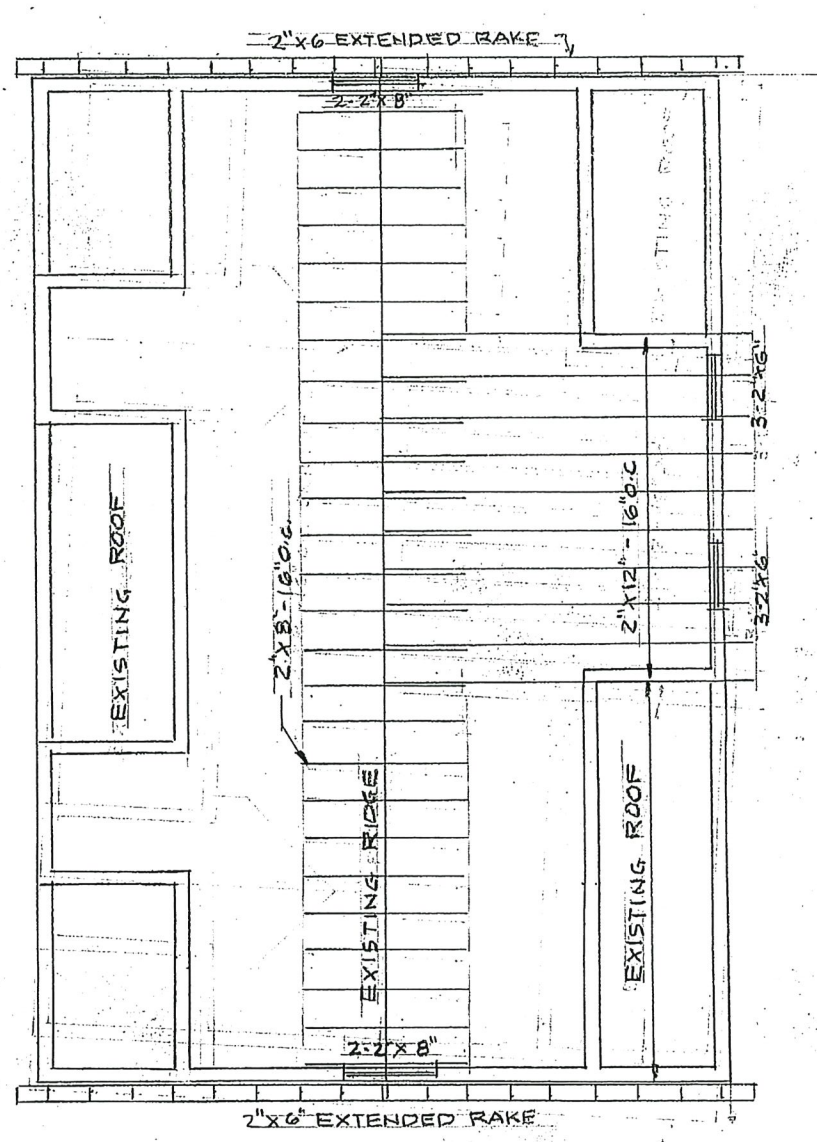


SECOND FLOOR FRAMING PLAN  
 SCALE 1/4" = 1'-0"

SCALE 1/4" = 1'-0"  
 DATE 7-8-2021  
 A 9

RESIDENTIAL DESIGNS BY  
 ROBERT M. CONNELL  
 22 NORTH ST. WILMINGTON, MA.

ADDITION TO HOME FOR  
 EMERY HOMES L.L.C.  
 21 LOOMIS ST. CAMBRIDGE, MA.



HURRICANE CLIPS 16" O.C.

ROOF FRAMING PLAN  
SCALE 1/4"=1'-0"

SCALE 1/4"=1'-0"  
DATE 7-8-2021  
A10

RESIDENTIAL DESIGNS BY  
ROBERT M. CONNELL  
22 NORTH ST. WILMINGTON, MA.

ADDITION TO HOME FOR  
EMERY HOMES L.L.C.  
21 LOOMIS ST. CAMBRIDGE, MA.

A10