



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Fl., Cambridge, Massachusetts 02139
Telephone: 617 349 4683 TTY: 617 349 6112
E-mail: histcomm@cambridgema.gov URL: www.cambridgema.gov/Historic

APPLICATION FOR CERTIFICATE

1. The undersigned hereby applies to the Cambridge Historical Commission for a Certificate of (check one box): Appropriateness, Nonapplicability, or Hardship, in accordance with Chapter 40C of the Massachusetts General Laws and/or Chapter 2.78 of the Municipal Code.

2. Address of property: , Cambridge, Massachusetts

3. Describe the proposed alteration(s), construction or demolition in the space provided below:
(An additional page can be attached, if necessary).

Please see the attached statement.

RECEIVED
JUN 14 2022
CAMBRIDGE HISTORICAL
COMMISSION

I certify that the information contained herein is true and accurate to the best of my knowledge and belief. The undersigned also attests that he/she has read the statements printed on the reverse.

Name of Property Owner of Record:

Mailing Address:

Telephone/Fax: E-mail:

Signature of Property Owner of Record: Barbara Lynn Pedersen
(Required field; application will not be considered complete without property owner's signature)

Name of proponent, if not record owner:

Mailing Address:

Telephone/Fax: E-mail:

(for office use only):

Date Application Received: 6/14/22 Case Number: 4817 Hearing Date: 7/7/22

Type of Certificate Issued: _____ Date Issued: _____

Cambridge Historical Society
831 Massachusetts Avenue, 2nd Fl.
Cambridge, Massachusetts 02139

Re: CHC Application for Certificate of Appropriateness
Project Address: 11 Berkeley Street, Cambridge, MA

Project Description

New paths composed of reclaimed granite stone steppers are being proposed on the west, north, and east sides of the property.

The South Terrace is proposed to be extended by approximately 5'-10 1/2" to the east. The new and extended stone walls will match the materials and character of the existing walls. The entire deck will be resurfaced as the current decking is beginning to fail in areas.

The proposed carpentry components include:

- A garbage enclosure along the north side of the residence that will be painted to match the approved house color
- A new utility screen to house the updated HVAC units. The screen will match the character of the approved North Deck Steps
- New 3' high fence and relocated gate in the front garden to be painted to match the approved house color trim
- New 6' high fence and gate at the rear garden threshold to replace the current 6' high stockade fencing and gate. The fencing and gate locations are shifted $\pm 4'$ to the north to allow additional space for the mature yews, privacy, and shall be painted to match the approved house color trim
- New 6' high fence along the east (Berkeley Street) side of the residence that shall be painted to match the approved house color trim. A portion of the fencing along Berkeley Street shall be slightly shifted outboard 2' to allow additional room for the mature yews. A 4'-9" planted area shall remain between the sidewalk and fence in approximately the same location.
- The replacement of a $\pm 32'$ section of chain link fence and an $\pm 8'$ section of stockade fencing along the southern property line. The proposed infill fencing is to match the existing adjacent unfinished 6' tall board fence.

The existing driveway will be repaired and resurfaced following construction to restore the prior chip seal surfacing. The existing curbs and cobble edging will remain.

New landscape lighting is proposed around the property with a focus on safety and wayfinding.

NO.	REVISION	DATE
1	CORRECTED ELEVATIONS ALONG REAR PORTION OF HOUSE	9/26/2022
2	REVISED PREPARED FOR INFORMATION	9/20/2022
3	UPDATED PREPARED FOR INFORMATION	12/12/2022

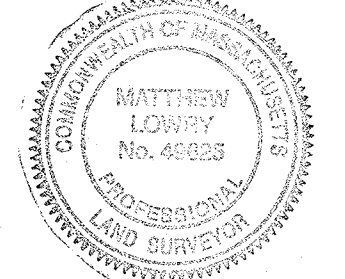
Record Owner:
THE 11 BERKELEY STREET TRUST
 20 UNIVERSITY ROAD
 CAMBRIDGE, MA 02138
 BK 51675 / PG 274

Location:
 PROPERTY ID: 216-26
 11 BERKELEY STREET
 CAMBRIDGE, MA 02138

PREPARED BY:
RJO'CONNELL & ASSOCIATES, INC.
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
 80 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02180
 PHONE: 781.279.0180 RJOC@CONNELL.COM

PREPARED FOR:
THE 11 BERKELEY STREET TRUST
 20 UNIVERSITY ROAD
 CAMBRIDGE, MA 02138

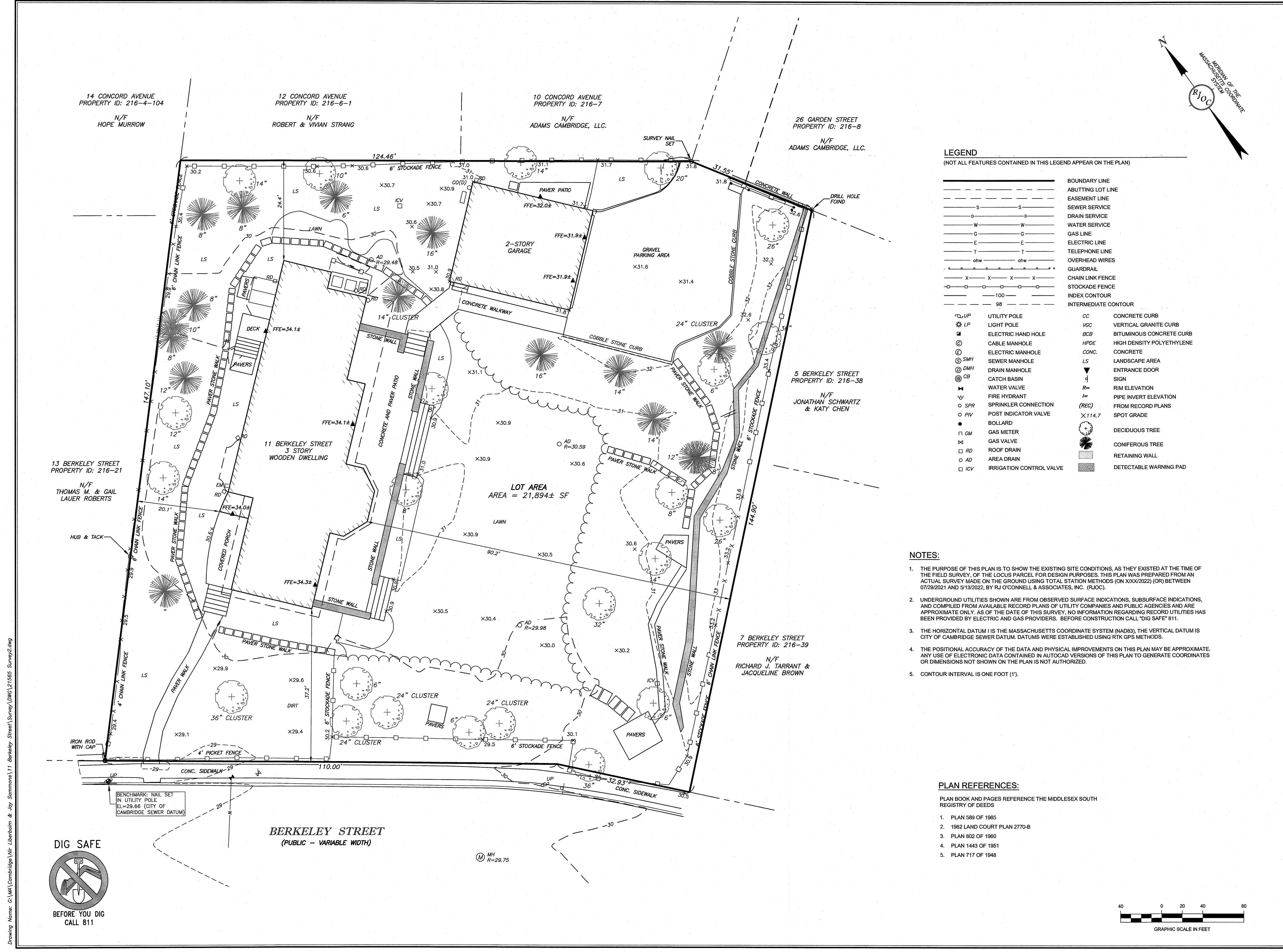
PROJECT NAME:
11 BERKELEY STREET
 CAMBRIDGE, MA

SEAL


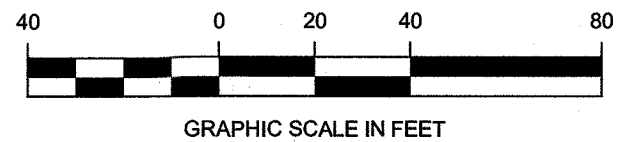
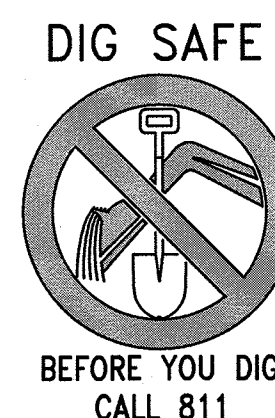
DATE: 09/09/2021
 DRAWING NAME:
EXISTING CONDITIONS PLAN

DRAWING NUMBER:
EX-1

PROJECT NUMBER:
21565



Drawing Name: C:\MA\Cambridge\11 Berkeley Street\Survey\DWG\21565 Survey2.dwg



BERKELEY STREET
 (PUBLIC - VARIABLE WIDTH)

MH
 R=29.75

LOT AREA
 AREA = 21,894± SF

14 CONCORD AVENUE
 PROPERTY ID: 216-4-104
 N/F HOPE MURROW

12 CONCORD AVENUE
 PROPERTY ID: 216-6-1
 N/F ROBERT & VIVIAN STRANG

10 CONCORD AVENUE
 PROPERTY ID: 216-7
 N/F ADAMS CAMBRIDGE, LLC.

26 GARDEN STREET
 PROPERTY ID: 216-8
 N/F ADAMS CAMBRIDGE, LLC.

5 BERKELEY STREET
 PROPERTY ID: 216-38
 N/F JONATHAN SCHWARTZ & KATY CHEN

7 BERKELEY STREET
 PROPERTY ID: 216-39
 N/F RICHARD J. TARRANT & JACQUELINE BROWN

13 BERKELEY STREET
 PROPERTY ID: 216-21
 N/F THOMAS M. & GAIL LAUER ROBERTS

11 BERKELEY STREET
 3 STORY WOODEN DWELLING

2-STORY GARAGE

GRAVEL PARKING AREA

14" CLUSTER

24" CLUSTER

LAWN

DIRT

24" CLUSTER

24" CLUSTER

24" CLUSTER

6" STOCKADE FENCE

CONC. SIDEWALK

CONC. SIDEWALK

PAVER PATIO

PAVER PATIO

PAVER PATIO

PAVER PATIO

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11 Berkeley Street
Cambridge, MA

General Notes:

- Existing conditions and topographic data are from a site plan of land dated 09/04/21, prepared by RJO'Connell & Associates, 80 Montvale Ave., Suite 201, Stoneham, MA 02180 - Tel: 781 279-0180.
- Existing conditions supplemented from data collected by: Matthew Cunningham Landscape Design LLC, 411 Main Street, Stoneham, MA 02108 / 366 Fore Street, Portland, ME 04101 - Tel: (617) 905.2246
- True and current conditions may differ from those indicated on the plan. Contractor shall verify true conditions in the field prior to construction and notify landscape designer of significant discrepancies.
- Contractor shall verify location of any existing utilities and services and provide protection during construction. Contractor shall directly coordinate with DIG Safe. Utilities damaged during construction shall be repaired at contractor's expense.
- Contractor shall contact and inform client and landscape designer to any unforeseen conditions which may affect the intended design as set forth in the drawings.
- Contractor shall secure any necessary permits required for the work from any state or local agencies, departments, utility companies or other authorities having jurisdiction and affected by the work.
- All work shall be in accordance with the Massachusetts State Building Code.
- Contractor shall leave site clean and orderly during all phases of the construction process. Remove from the site all excess materials, soils, debris, and equipment. Store materials only in an approved location.
- Do not scale drawings.
- All angles are assumed to be 90 degrees unless otherwise stated.

FOR PERMITTING
ONLY;
NOT FOR
CONSTRUCTION

MATTHEW
CUNNINGHAM
LANDSCAPE
DESIGN LLC
matthew-cunningham.com

411 Main Street, Stoneham, MA 02180
366 Fore Street, Portland, ME 04101
617.905.2246 p | 617.321.4014 f

REVISIONS:	
#:	DESCRIPTION:

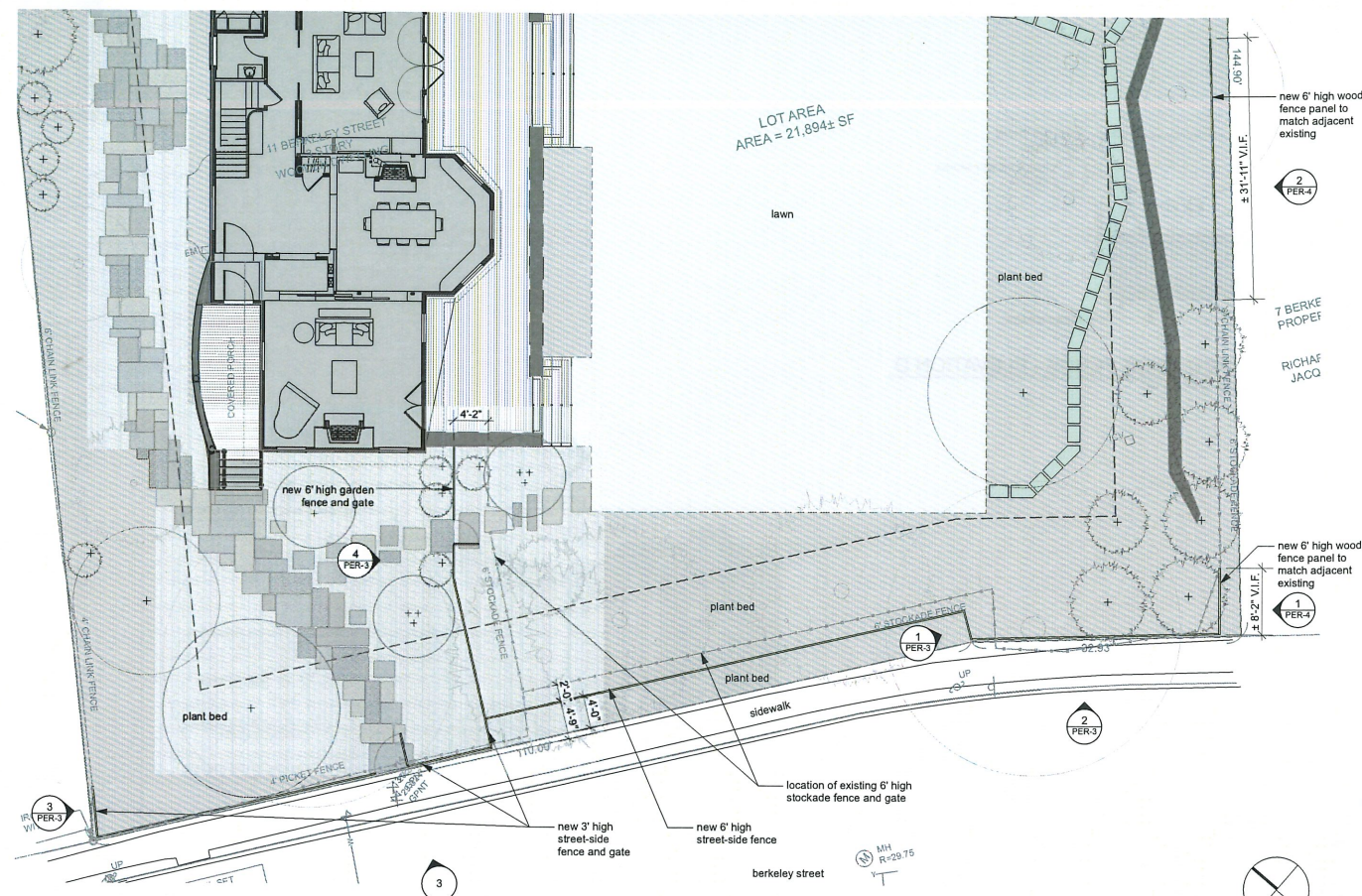
SCALE: As Shown DATE: 10 June 2022

SHEET TITLE:
Carpentry Details -
Fencing

SHEET NUMBER:

PER-2

NOT FOR CONSTRUCTION



1 FENCING KEY PLAN
Scale: NTS

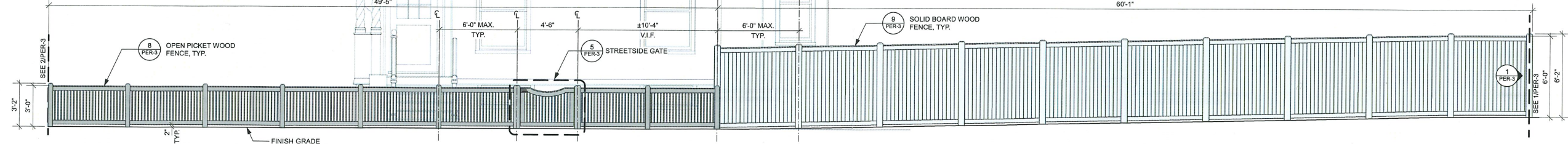


2 APPROVED HOUSE FINISH COLORS - FOR REFERENCE
Scale: NTS



PAINT CHIP: Benjamin Moore "Black Forest Green" PM-12
APPROVED HOUSE TRIM COLOR AND PROPOSED STREET-SIDE AND GARDEN FENCE AND GATE COLOR

NOTES:
1. ARCHITECTURAL ELEVATION HAS BEEN WARPED TO ACCOMMODATE THE RELATIVE ANGLE BETWEEN HOUSE FACADE AND FENCE.
2. STREET-SIDE FENCES AND GATES TO BE PAINTED TO MATCH PROPOSED HOUSE TRIM. SEE 2/PER-2



3 STREET-SIDE FENCE - ELEVATION A
Scale: 1/4" = 1'-0"

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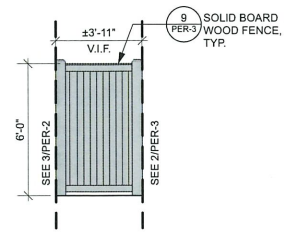
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#	DESCRIPTION:

SCALE: As Shown DATE: 10 June 2022

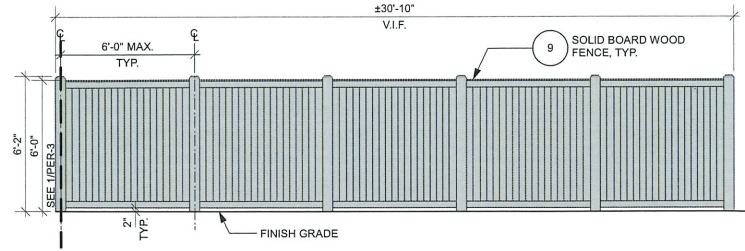
SHEET TITLE:
Carpentry Details -
Fencing

SHEET NUMBER:

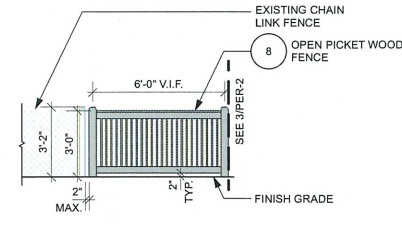
PER-3
NOT FOR CONSTRUCTION



1 STREET-SIDE FENCE - ELEVATION B
Scale: 1/4" = 1'-0"

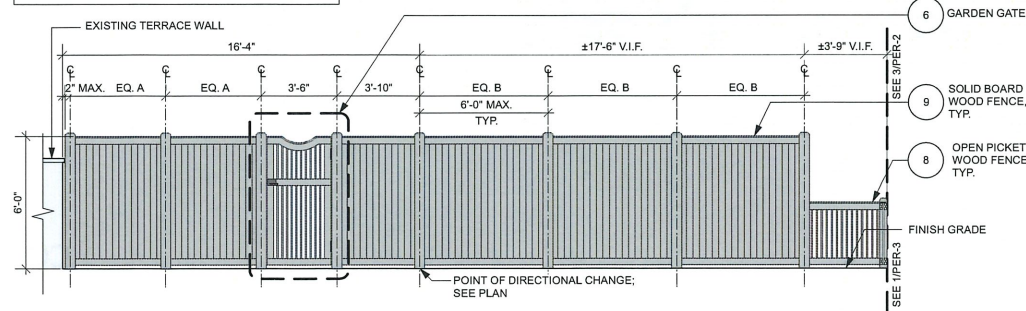


2 STREET-SIDE FENCE - ELEVATION C
Scale: 1/4" = 1'-0"

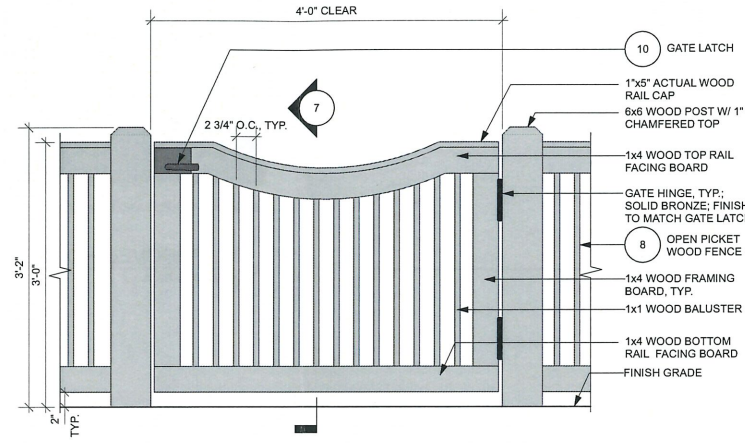


3 STREET-SIDE FENCE - ELEVATION D
Scale: 1/4" = 1'-0"

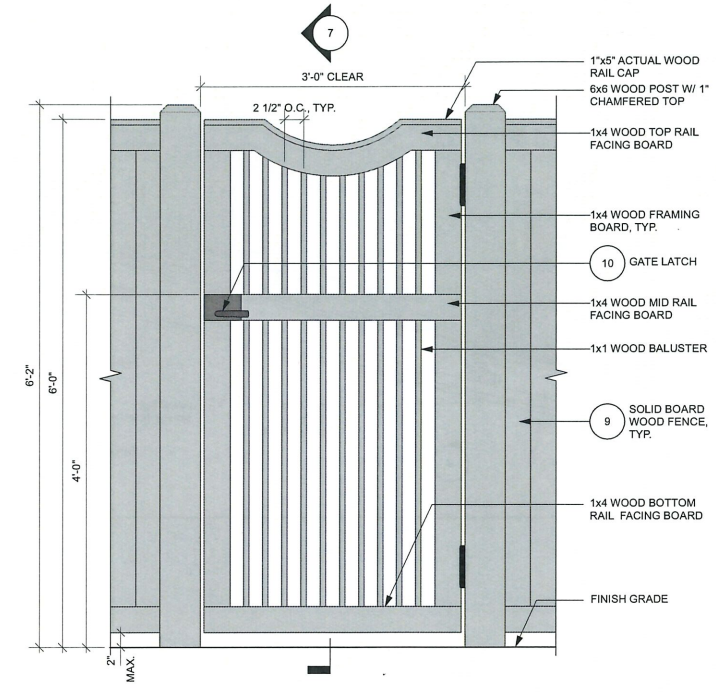
NOTE:
THIS ELEVATION HAS BEEN FLATTENED FOR LEGIBILITY;
SEE PLAN FOR PROPOSED LAYOUT



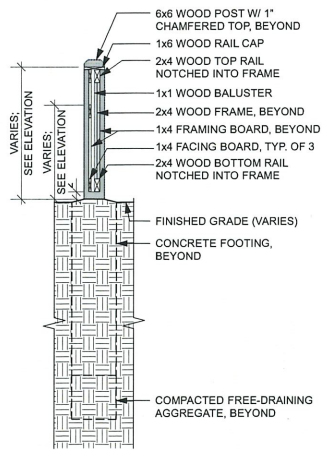
4 GARDEN FENCE
Scale: 1/4" = 1'-0"



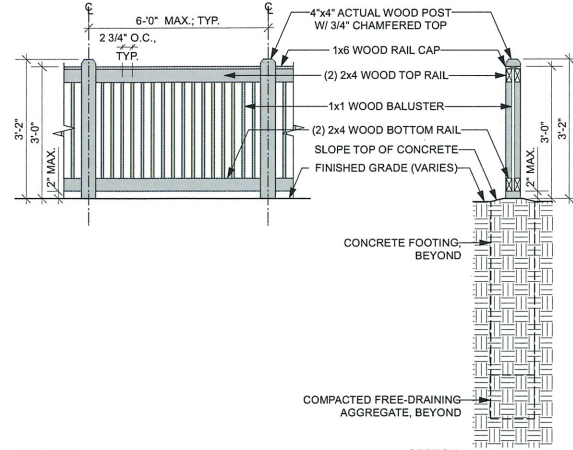
5 STREET-SIDE GATE
Scale: 1" = 1'-0"



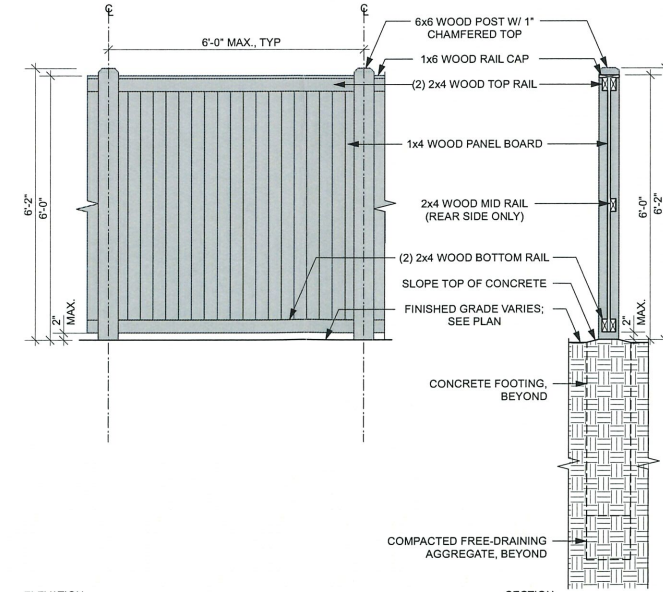
6 GARDEN GATE
Scale: 1" = 1'-0"



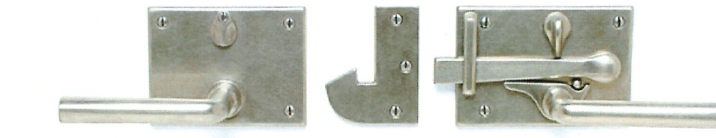
7 OPEN PICKET WOOD GATE
Scale: 1/2" = 1'-0"



8 OPEN PICKET WOOD FENCE
Scale: 1/2" = 1'-0"



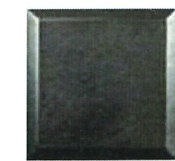
9 SOLID BOARD WOOD FENCE
Scale: 1/2" = 1'-0"



LATCH SYSTEM: SUN VALLEY BRONZE x/P-150



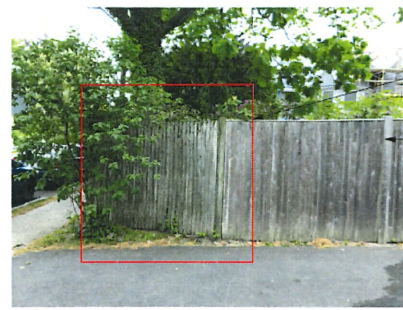
HANDLE: L-113 - ALTURAS LEVER



FINISH: S3 (DARK BROWN PATINA)

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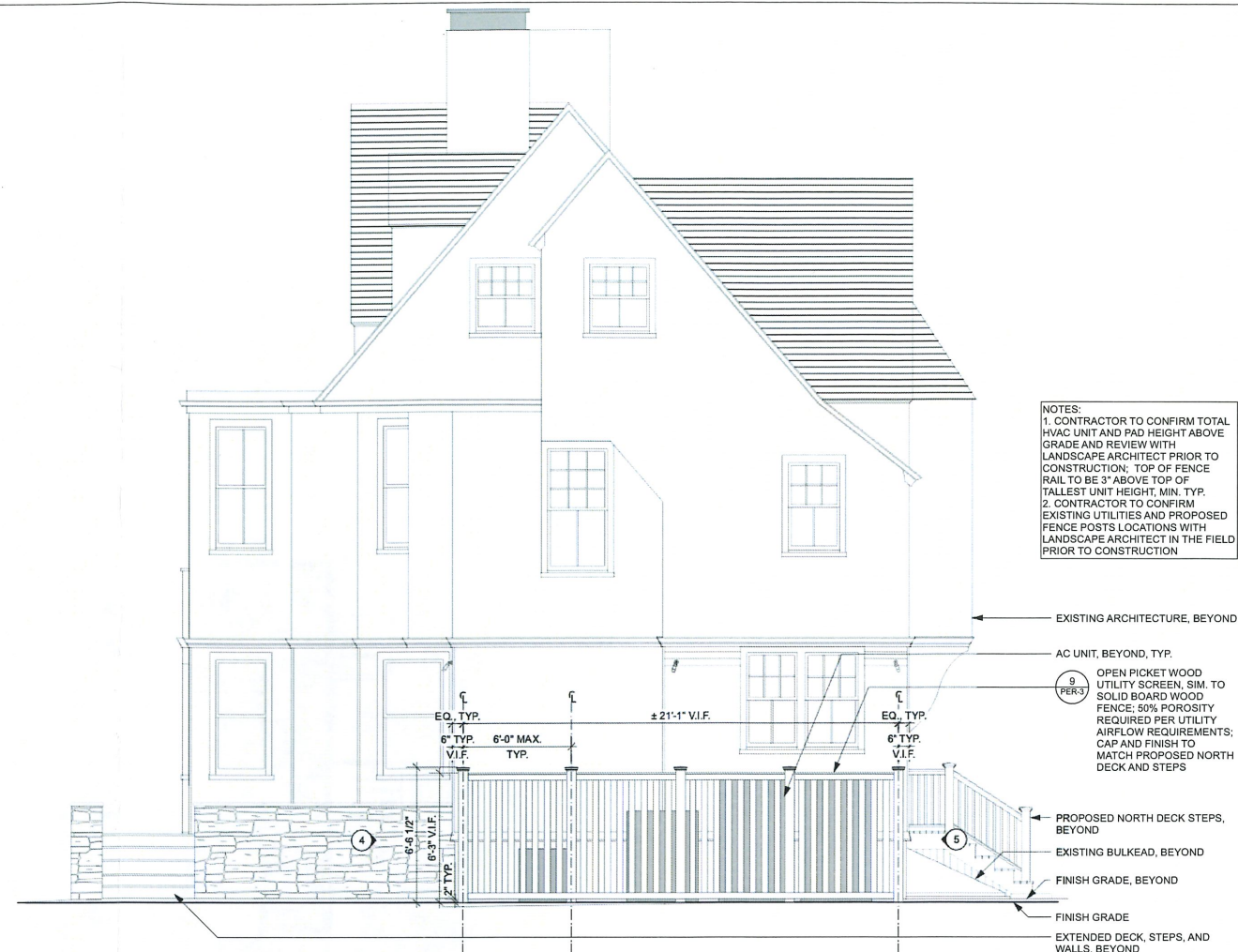
PROPOSED STOCKADE FENCE SECTION TO BE REPLACED WITH FENCING TO MATCH ADJACENT 6" PRIVACY FENCE
6" PRIVACY FENCE TO BE MATCHED

1 EXISTING STOCKADE SECTION AT SOUTHERN PROPERTY LINE
Scale: NTS

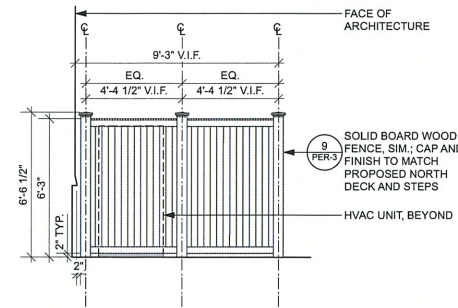


6" PRIVACY FENCE TO BE MATCHED
PROPOSED CHAIN LINK CONDITION TO BE REPLACED WITH FENCING TO MATCH ADJACENT 6" PRIVACY FENCE

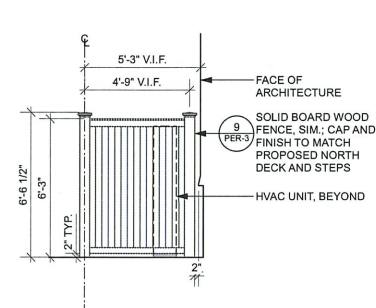
2 EXISTING PRIVACY AND CHAIN LINK FENCE AT SOUTHERN PROPERTY LINE
Scale: NTS



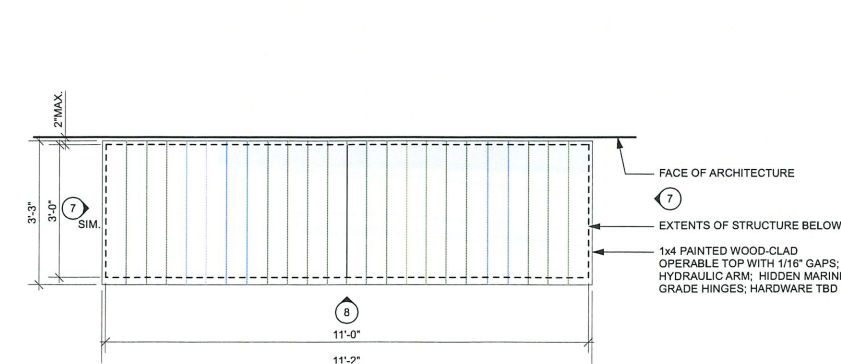
3 UTILITY ENCLOSURE - ELEVATION A
Scale: 1/4" = 1'-0"



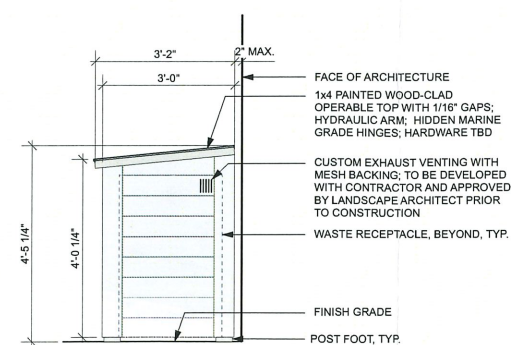
4 UTILITY ENCLOSURE - ELEVATION B
Scale: 1/4" = 1'-0"



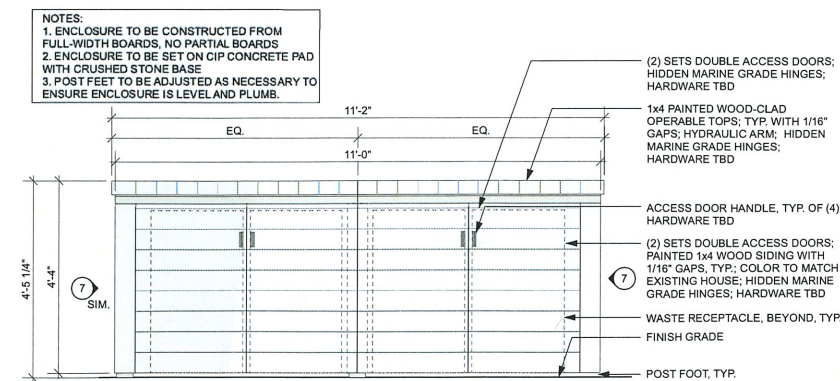
5 UTILITY ENCLOSURE - ELEVATION C
Scale: 1/4" = 1'-0"



6 GARBAGE ENCLOSURE - KEY PLAN
Scale: 1/2" = 1'-0"



7 GARBAGE ENCLOSURE - SIDE ELEVATION
Scale: 1/2" = 1'-0"



8 GARBAGE ENCLOSURE - FRONT ELEVATION
Scale: 1/2" = 1'-0"

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matthew-cunningham.com

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366 Fore Street, Portland, ME 04101
617.905.2246 p | 617.321.4014 f

REVISIONS:	
#	DATE DESCRIPTION

SCALE: As Shown DATE: 10 June 2022

SHEET TITLE:
Carpentry Details - Fencing, Utility and Garbage Enclosures

SHEET NUMBER:

PER-4
NOT FOR CONSTRUCTION

