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JUN 14 2017

Bellis Circle Neighborhood Association

33 Bellis Circle Cambridge MA 02140

CAMBRIDGE HISTORICAL COMMISSION

To: Cambridge Historical Commission
Attn: Mr. Sullivan
Re: 29 Bellis Circle Cambridge MA 02140

June 13, 2017

Dear Mr. Sullivan and Members of the Cambridge Historical Commission,

I am writing to voice my support - and that of the neighbors - for the demolition and building project for 29 Bellis Circle forwarded by the petitioner, Dudley Wyman and the architect for the project, Marcelo Tagore Hernandez. We have known Mr. Wyman and his wife Nicole Barna since they have moved onto Bellis Circle in 2004 and their family is an integral part of the life of our neighborhood.

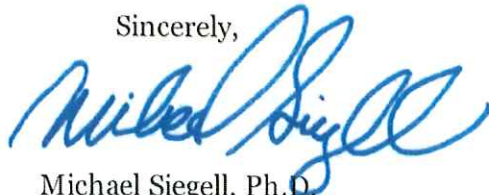
Mr. Wyman, Mrs. Barna, and Mr. Hernandez have held a number of outreach meetings on our street with neighbors to explain their ideas for their house project at 29 Bellis Circle and there is widespread unanimous support and encouragement for them to proceed with their plans.

While there have been multiple building and renovation projects in our small neighborhood over the past 2 decades, in my own view not all of them have been to the better of our neighborhood. I am glad to say that this project is not in that category and I am confident this will better our street and move us in a direction that will be valuable and necessary as we all move into the future of increasing energy and environmental awareness.

While we value the history of our rich city and the buildings that make up that history, we do not feel that replacing the existing structure, well over 100 years old, is a detriment to our community. It is possible that the proposal, being the first Net Positive building on our street, may be more historically relevant long term.

We encourage the Commission to grant the petitioner the demo approval they are seeking.

Sincerely,



Michael Siegell, Ph.D.

President,

Bellis Circle Neighborhood Association

Charles M. Sullivan
Executive Director
831 Massachusetts Ave., 2nd Floor
Cambridge Historical Commission
Cambridge, Massachusetts 02139

June 12, 2017

Dear Mr. Sullivan:

We are writing to provide our support to the proposed demolition and new construction project at 29 Bellis Circle. The owners, Nicole Barna and Dudley Wyman have lived on Bellis Circle since 2004. They have been active members of our neighborhood since that time.

They have been planning to work on the property at 29 Bellis Circle since they purchased the property in 2014. As they began actively designing the project this past year, they held numerous meetings and discussions with the neighbors on the street, collecting input and ensuring that the proposed design will match the other houses in the neighborhood.

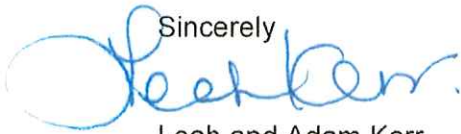
As they have refined their proposed design, it became clear that the current structure at 29 was in serious disrepair. The many prior additions or changes to the building had made the design esthetic confusing and the foundation and interior beams are cracking and in need of replacement.

Additionally, Nicole and Dudley have decided to create a Passive House, utilizing solar panels and the latest technologies in insulation and heating and cooling. This will be the first certified Passive House in Cambridge.

It is our opinion that the proposed replacement building will not be a detriment to the neighborhood.

In fact, we are excited to have an example of an extremely energy efficient house on our street to continue to demonstrate that Cambridge is on the forefront of sustainable living and architecture.

Sincerely



Leah and Adam Kerr

27 Bellis Circle

Judy Hunt and Nell Loring

40 Bellis Circle





June 13, 2017

Cambridge Historic Commission
831 Massachusetts Avenue
Cambridge, MA 02139

Re: 29 Bellis Circle - Request for Demolition

To the Members of the Cambridge Historic Commission,

Our clients, Dudley Wyman and Nicole Barna, are seeking permission to demolish the current structure, older than 50 years, located at 29 Bellis Circle. From the onset- GDB and the Owners established a design process that incorporated the neighborhood. We held various community outreach and presentation meetings with both direct abutters and the Bellis Circle Neighborhood Association. The process culminated in a design with unanimous support for the demolition and replacement of 29 Bellis. Key feedback elements that were incorporated per abutter/neighborhood discussions were:

- Preserving (2) 100+ year old Silver Maples
- Avoidance of modern typology, maintaining traditional gable-ended facade
- Use of wood siding over synthetic, in a traditionally horizontal orientation
- Masonry base foundation in lieu of exposed concrete
- Black (or wooden) style windows and sashes
- Use of copper/zinc type cladding materials where appropriate
- Restoration and repair of brick sidewalk in kind

The reconstruction allows for replacement of a failing foundation and several compromised framing conditions (beams, headers, rafters from multiple envelope alterations over time). Furthermore, the proposed design has an optimized building envelope with the goal of Net-Zero energy use, and layout better suited for a large family and aging in place .

Sincerely,

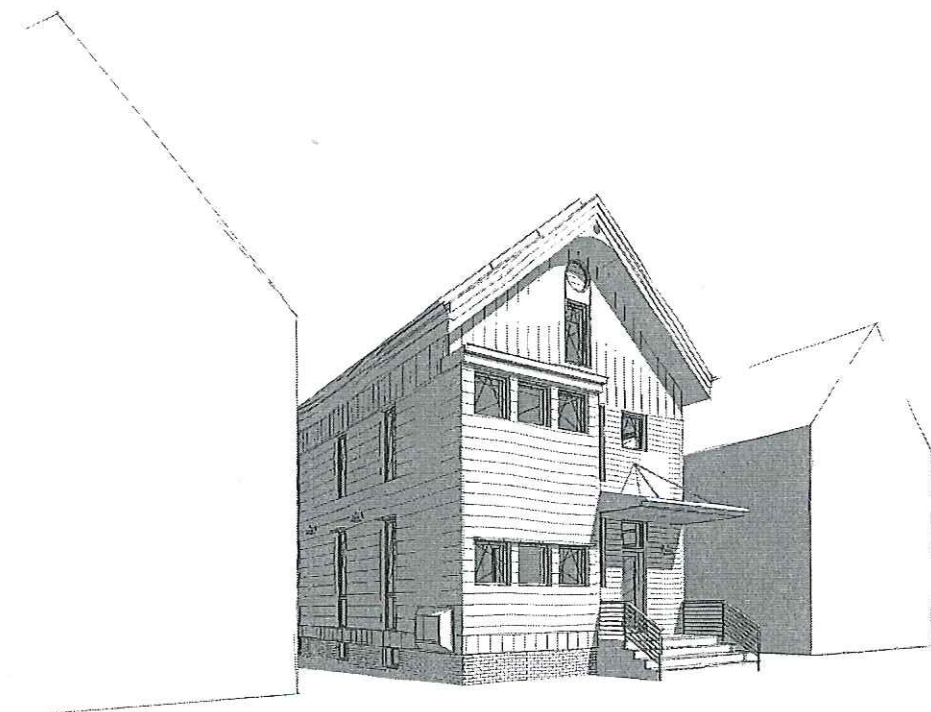
A handwritten signature in black ink, appearing to read "Tagore Hernandez", written over a printed name.

M. Tagore Hernandez

29 Bellis Circle Cambridge MA 02410

A NET ZERO - ALL ELECTRIC RESIDENTIAL PROJECT
The residence will be a high performance building type, utilizing passive solar design, super-insulated wall sections that meet the Passive House standard. It will incorporate triple glazed doors and windows, an engineered whole house energy recovery ventilation system, and an air source heat pump for heating and cooling. There will be no combustible fuels used for heating or cooking. The project shall meet PHIUS standards, HERS Score of 5 or less, and be LEED Platinum certifiable.

Drawing List	
Number	Name
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A.002	Demolition Plans & Elevations
A.003	Landscape Plan
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A.007	Proposed Materials
A.008	Proposed Views
A.100	Basement Plan
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A.102	Level 2
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A.302	Wall Sections
A.501	Main Stair
C.002	Plot Plan (by other)
S.100	Foundation & Framing Plans
S.101	Wall Section



**GROUP
DESIGN
BUILD**

PROJECT: **201602**
29 Bellis Circle
PROJECT ADDRESS: 29 John F. Bellis Circle Cambridge MA 02140

ARCHITECT + GC: Group Design Build Inc
30 Quincy Street
Somerville MA 02143

CONSULTANTS
Structural Engineer
Evan L. Hankin, P.E.
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Newton, MA 02468
Ehankin@me.com

Civil Engineer
SAMOTES
20 A Street
Frammingham, MA 01791

Mechanical Engineer

HERS Rater



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Cover & Photos

A.000

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 E:hankin@me.com

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Zoning Compliance Plan



A.001

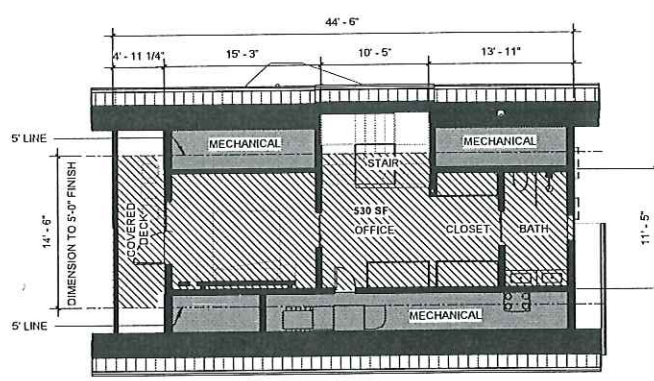
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ZONING & CODE INFO			
Lot Area	5,360 SF		
2-1/2 Story	35' Building Height Limit		
FAR = 0.5 & .35	.5 @ 5000 SF = 2500 sf		
	.35 @ 360 SF = 126 sf		
	Allowable = 2,626 sf		
PROPOSED			
Level 1 Proposed	1,051 GSF		
Level 2 Proposed	1,039 GSF		
Level 3 Proposed	531 GSF		
Total Proposed	2,621 GSF		
ZONING ANALYSIS	Existing	Allowable	Proposed
Zone District	Res B	Res B	Res B
Lot Area	5361 sf	5000 sf	5361 sf
F.A.R.	0.46	0.50	0.49
Building Area	2,470 sf	2,626 sf	2,621 sf
Front Yard Setback	11.5' ft	15' ft	15' ft
Side Yard Setback	6.8' ft	7.5' ft	6.8' ft
Rear Yard Setback	25.7' ft	25' ft	25.2' ft
Min. Lot Width	38' ft	50' ft	38' ft
Frontage	38' ft	20' ft	38' ft
Building Height	34' ft	35' ft	35' ft
Useable Open Space	140'x20'	15'x15'	140'x20'
Min. Ratio of Open Space	63%	40%	58%
Off Street Parking	2 tandem	1	2 tandem

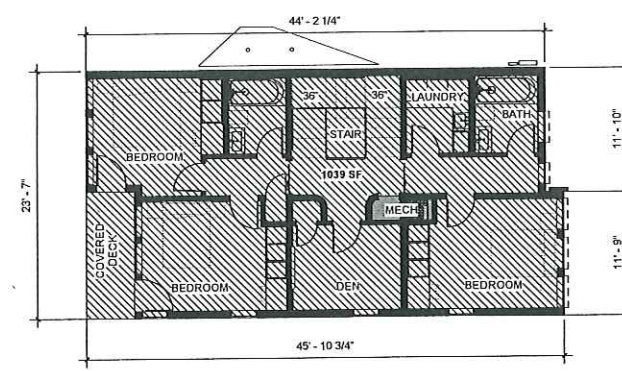
NOTES
 Side Yard is an Existing Nonconforming condition.
 Zoning relief shall be required for the rear building addition to be built on the existing foundation.

PLAN HATCH PATTERN LEGEND

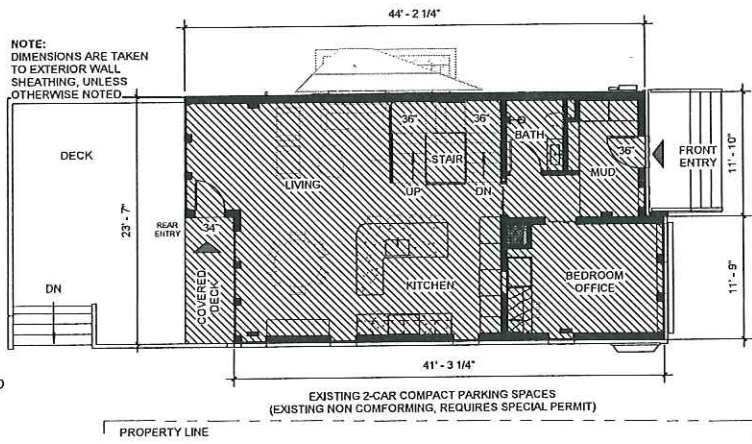
	CALCULATED AS GSF FOR F.A.R.
	NOT INCLUDED IN GSF. (Mechanical, Utility, Below Grade Basement)



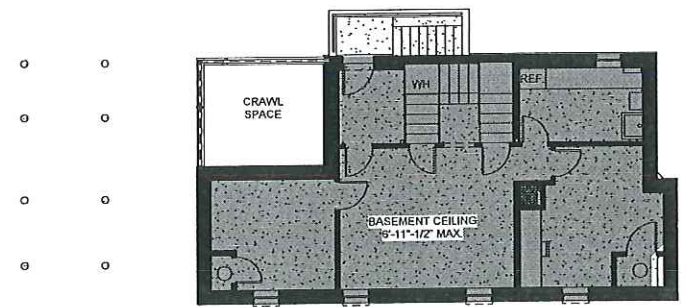
A4 Level 3 GSF
 1/8" = 1'-0"



A3 Level 2 GSF
 1/8" = 1'-0"



A2 Level 1 GSF
 1/8" = 1'-0"



A1 Basement GSF
 1/8" = 1'-0"

GROUP DESIGN BUILD

PROJECT: **201602**
29 Bellis Circle
 ADDRESS: 29 John F. Bellis Circle Cambridge MA 02140

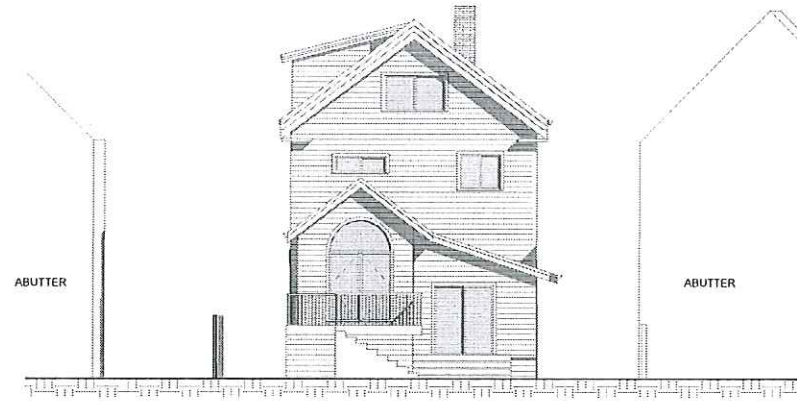
ARCHITECT + GC: Group Design Build Inc
 30 Quincy Street
 Somerville MA 02143

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 E.hankin@me.com

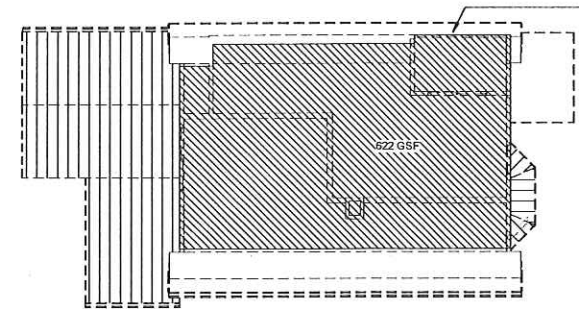
Civil Engineer
 SAMIOTES
 20 A Street
 Frammingham, MA 01791

Mechanical Engineer

HERS Rater

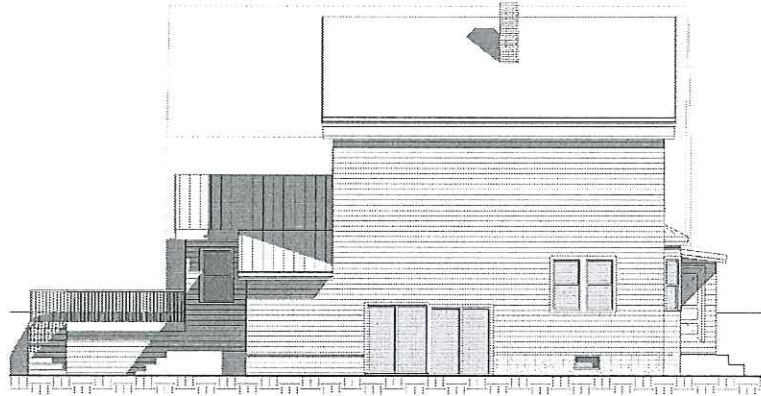


D2 Demo West Elevation
 1/8" = 1'-0"

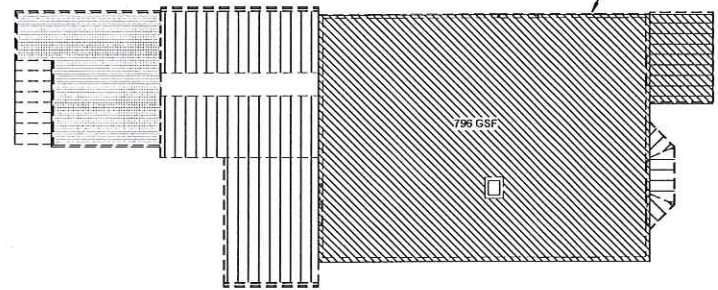


D1 Level 3 Demo
 1/8" = 1'-0"

COMPLETE DEMO AND REMOVAL OF EXISTING 2-1/2 STORY STRUCTURE

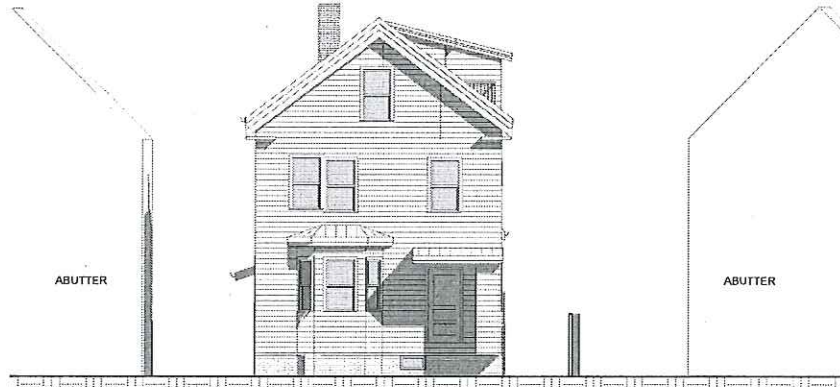


D2 Demo South Elevation
 1/8" = 1'-0"

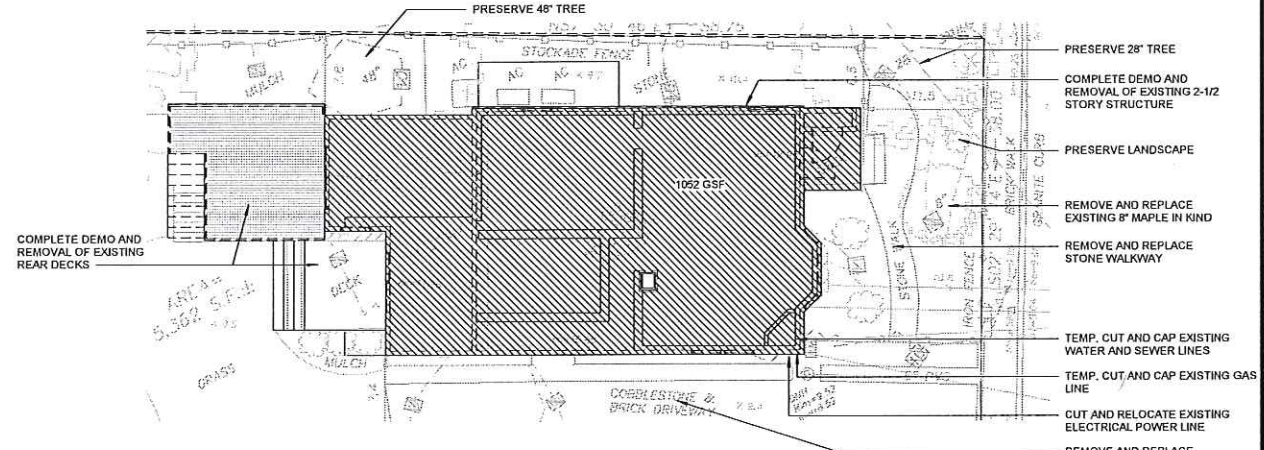


D1 Level 2 Demo
 1/8" = 1'-0"

COMPLETE DEMO AND REMOVAL OF EXISTING 2-1/2 STORY STRUCTURE



D2 Demo East Elevation
 1/8" = 1'-0"



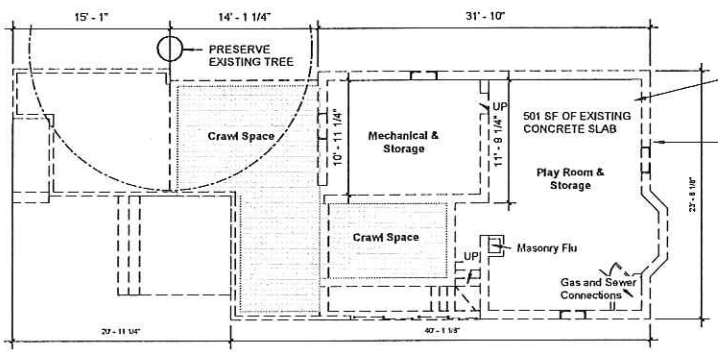
D1 Level 1 Demo
 1/8" = 1'-0"

- PRESERVE 28" TREE
- COMPLETE DEMO AND REMOVAL OF EXISTING 2-1/2 STORY STRUCTURE
- PRESERVE LANDSCAPE
- REMOVE AND REPLACE EXISTING 8" MAPLE IN KIND
- REMOVE AND REPLACE STONE WALKWAY
- TEMP. CUT AND CAP EXISTING WATER AND SEWER LINES
- TEMP. CUT AND CAP EXISTING GAS LINE
- CUT AND RELOCATE EXISTING ELECTRICAL POWER LINE
- REMOVE AND REPLACE STONE DRIVEWAY

--- STRUCTURE TO BE DEMOLISHED



D2 Demo North Elevation
 1/8" = 1'-0"



D1 Basement Demo
 1/8" = 1'-0"

COMPLETE DEMO AND REMOVAL OF EXISTING 2-1/2 STORY STRUCTURE

EXISTING FOUNDATION SHALL BE RECAST IN SAME LOCATION, AS PER ZBA APPROVED PROPOSED PLOT PLAN.

FIELD VERIFY NEW FOUNDATION WITH SURVEY AS REQUIRED.

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Demolition Plans & Elevations

A.002

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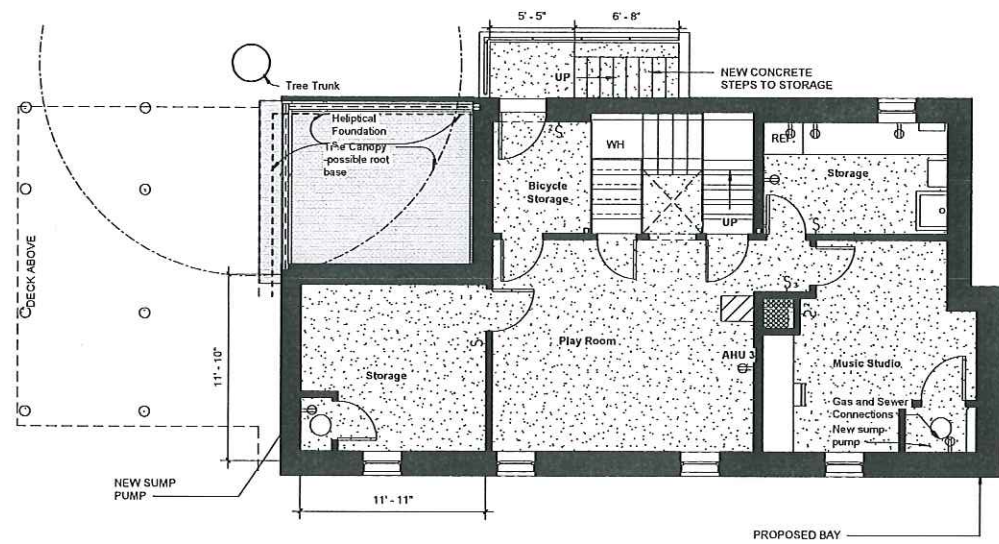
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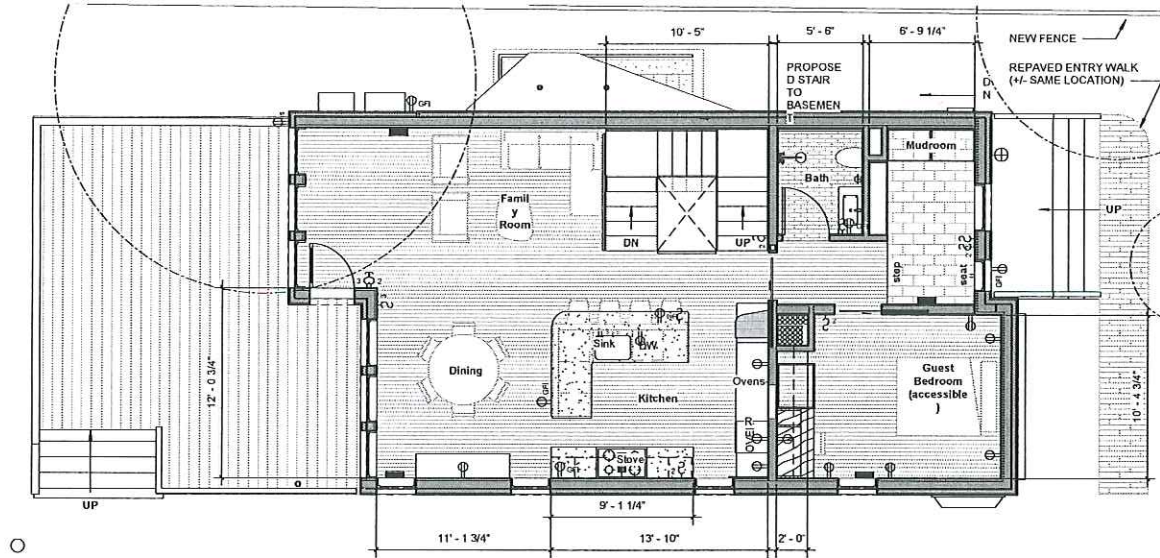
Civil Engineer
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Mechanical Engineer

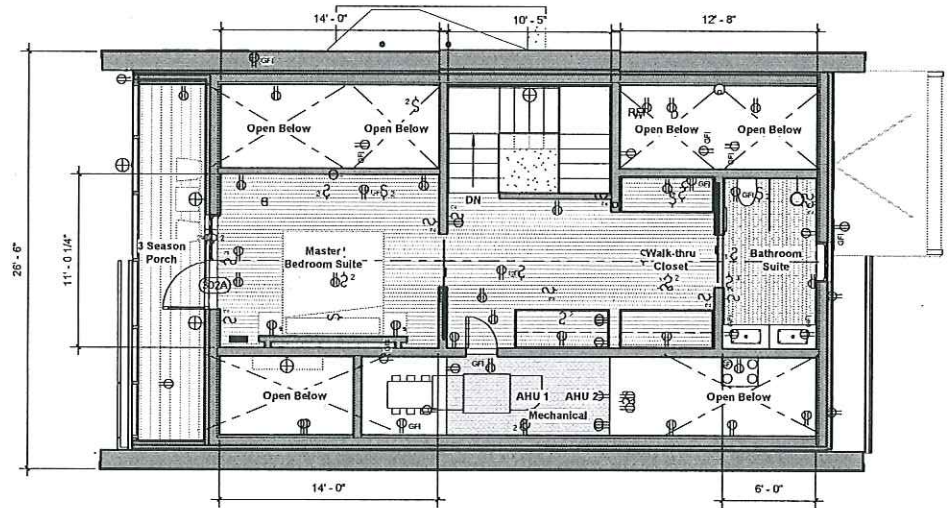
HERS Rater



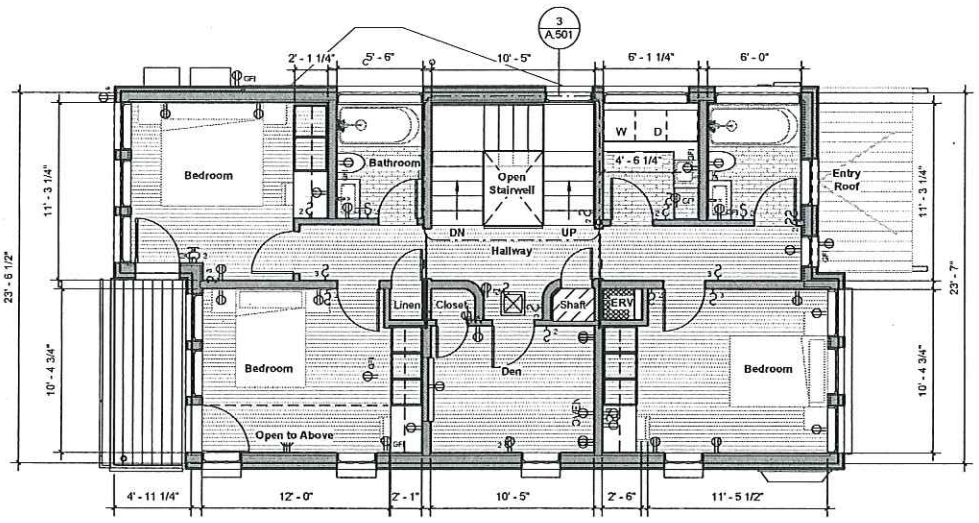
① Basement Plan PROPOSED
 3/16" = 1'-0"



② Level 1 PROPOSED
 3/16" = 1'-0"



④ Level 3 PROPOSED
 3/16" = 1'-0"



③ Level 2 PROPOSED
 3/16" = 1'-0"

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Floor Plans

A.105



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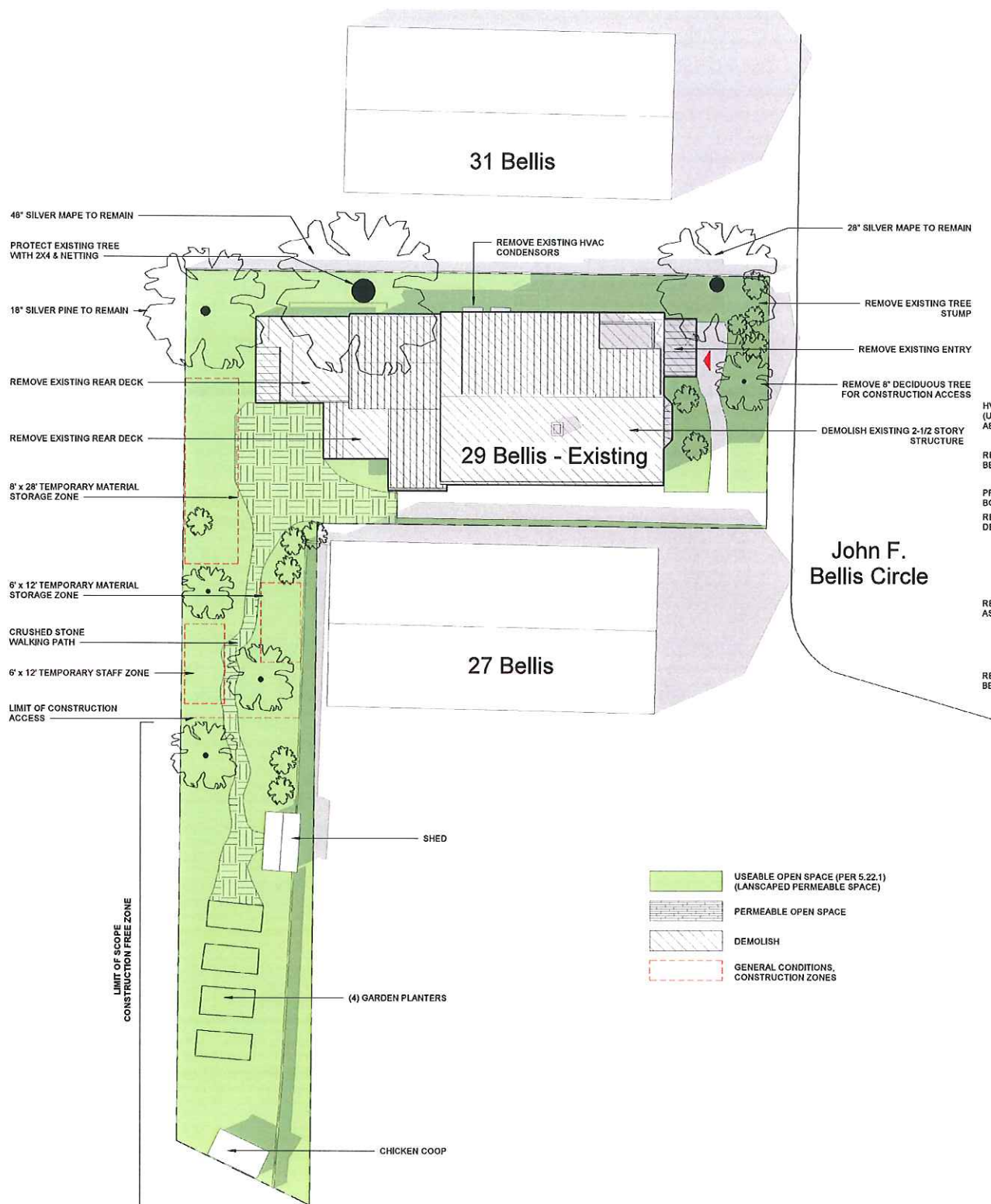
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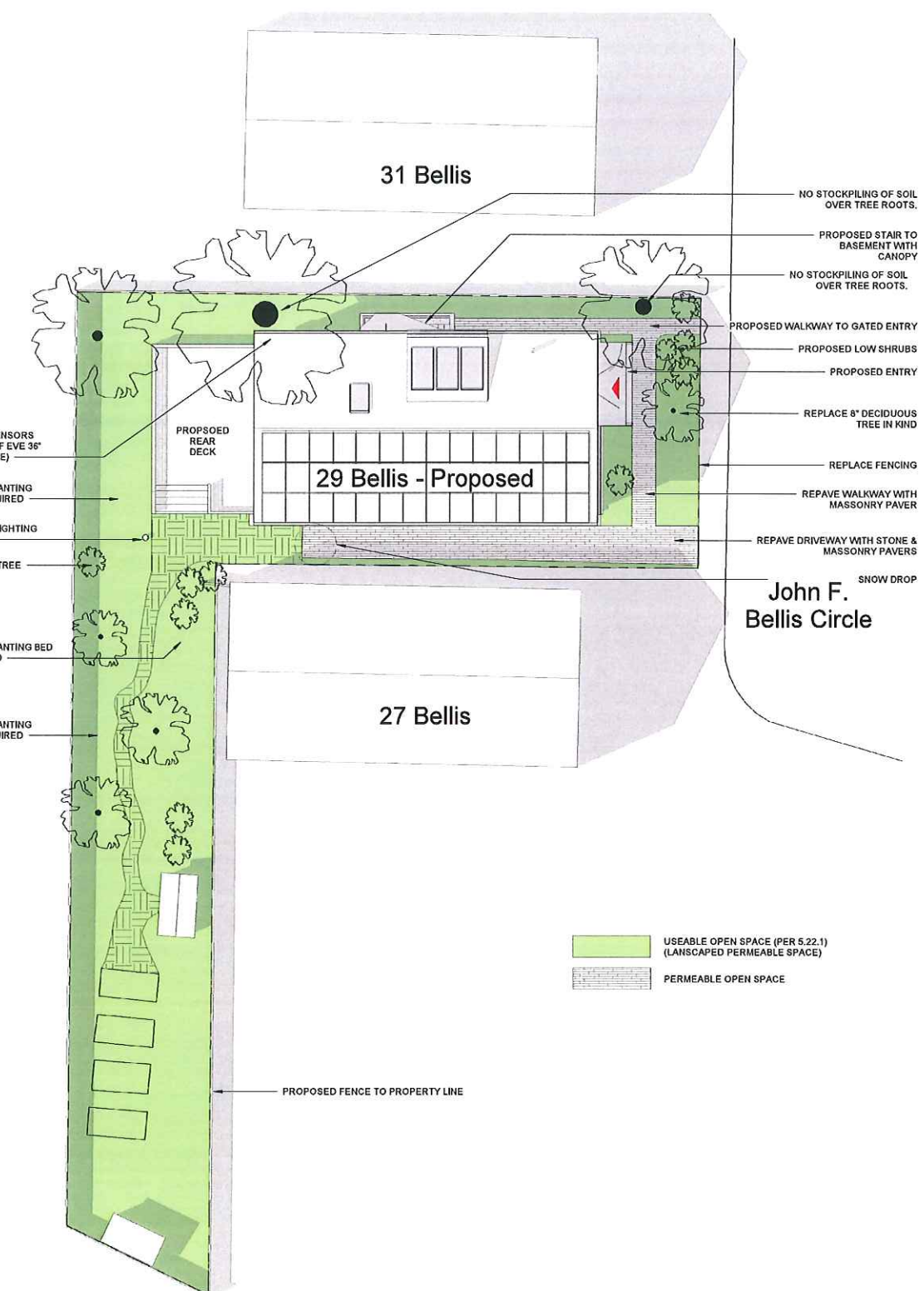
ARCHITECT + GC: **Group Design Build Inc**
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 Mechanical Engineer

HERS Rater



A2 Existing & Demo Site Plan
 1" = 10'-0"



A1 Proposed Site Plan
 1" = 10'-0"

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Landscape Plan

A.003

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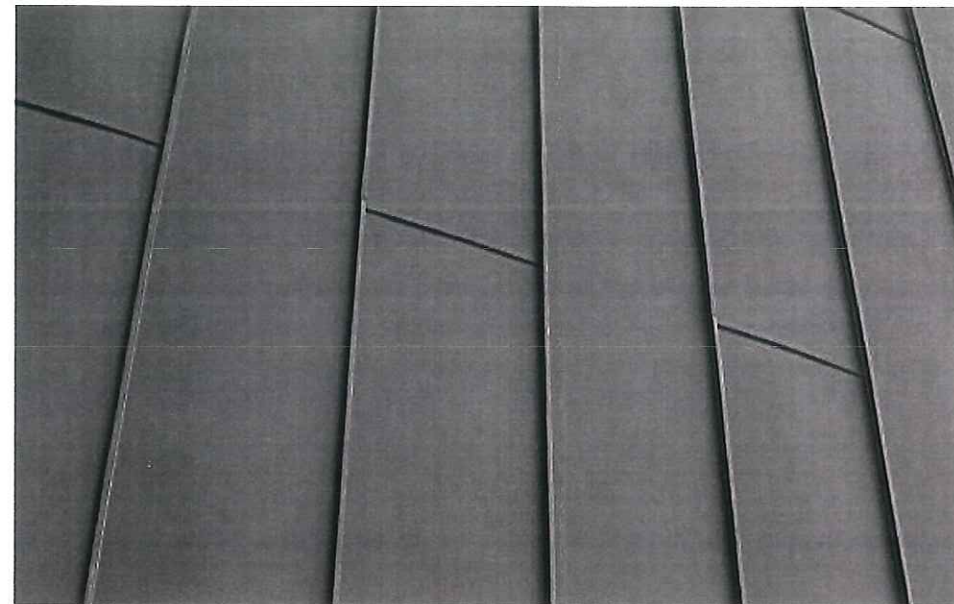
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Proposed Materials

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SLATE COLORED STANDING SEAM ROOF



MATCHING STANDING SEAM
VERTICAL PANELING AT EAVES

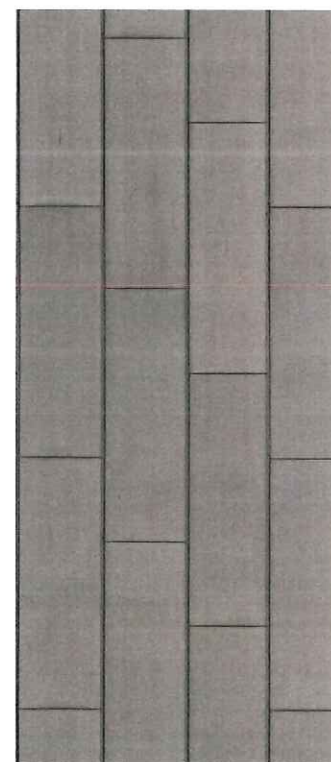
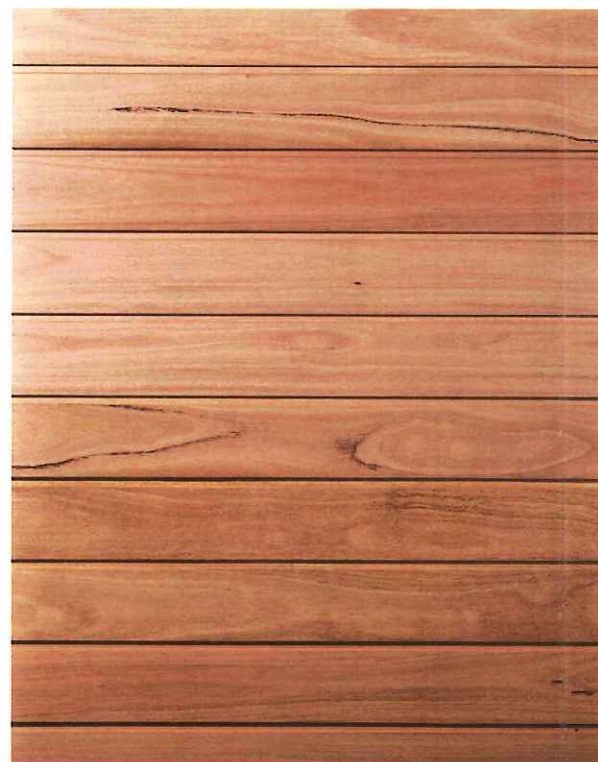


COMBINATION STANDING
SEAM VERTICAL PANELING
WITH HORIZONTAL CEDAR
SIDING

CEDAR SIDING WITH
BLACK FENESTRATION



FENESTRATION DETAIL



DARK MASONRY FOUNDATION



Existing South East View



Existing East View



Existing North West View



Proposed South East View



Proposed East View



Proposed North West View



25 27 29 31 33 35 37 A,B 39 A,B,C

Bellis Circle Street View

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Mechanical Engineer

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Proposed Views

A.008

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29 Bellis Circle
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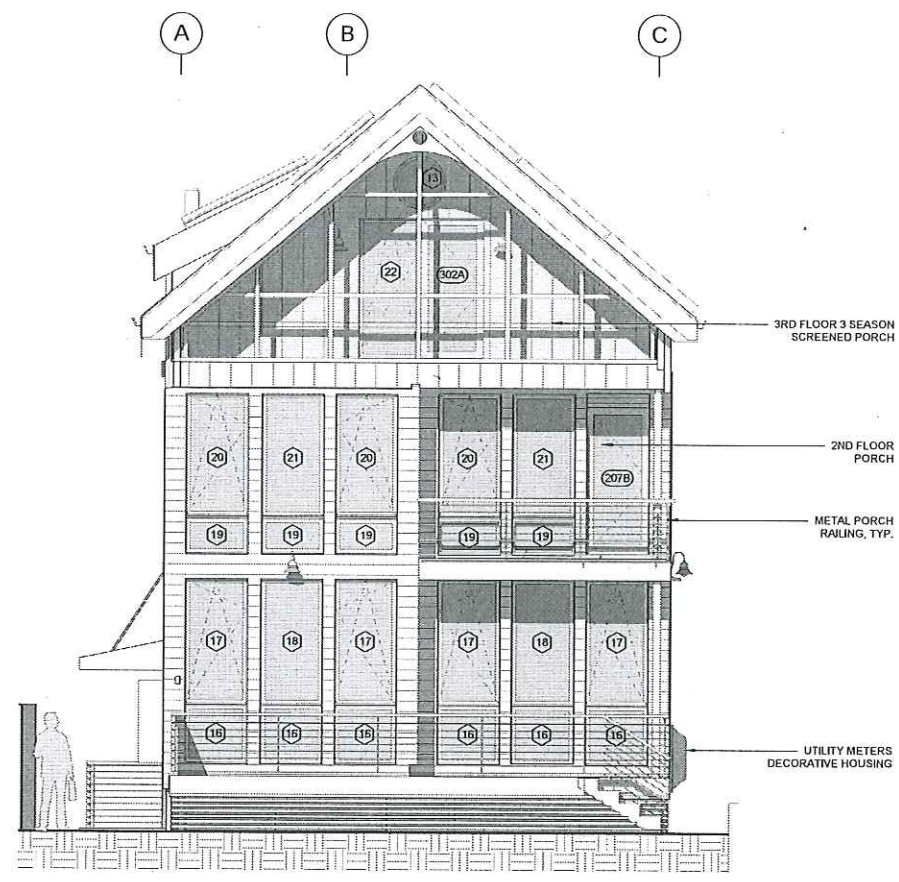
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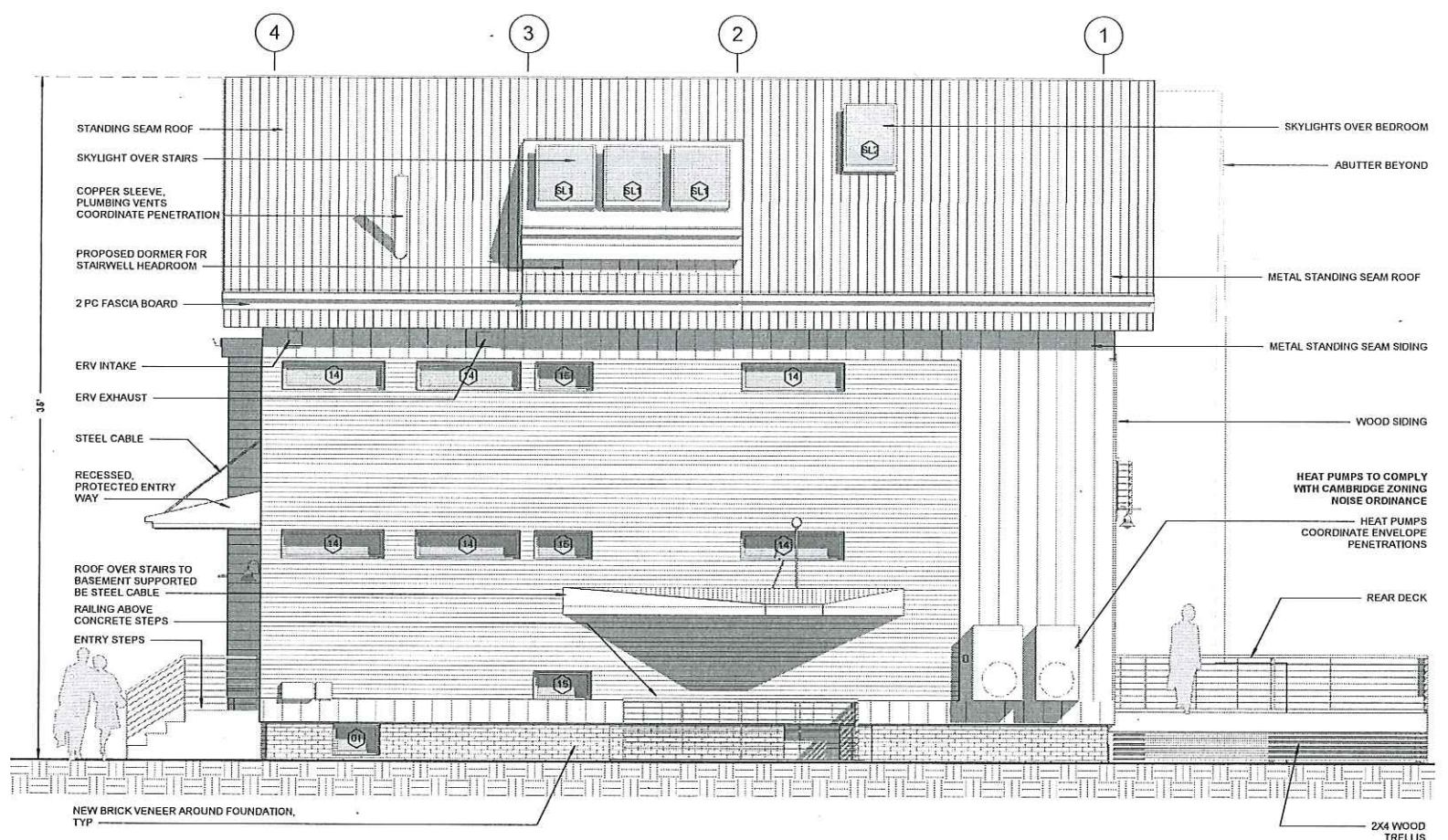
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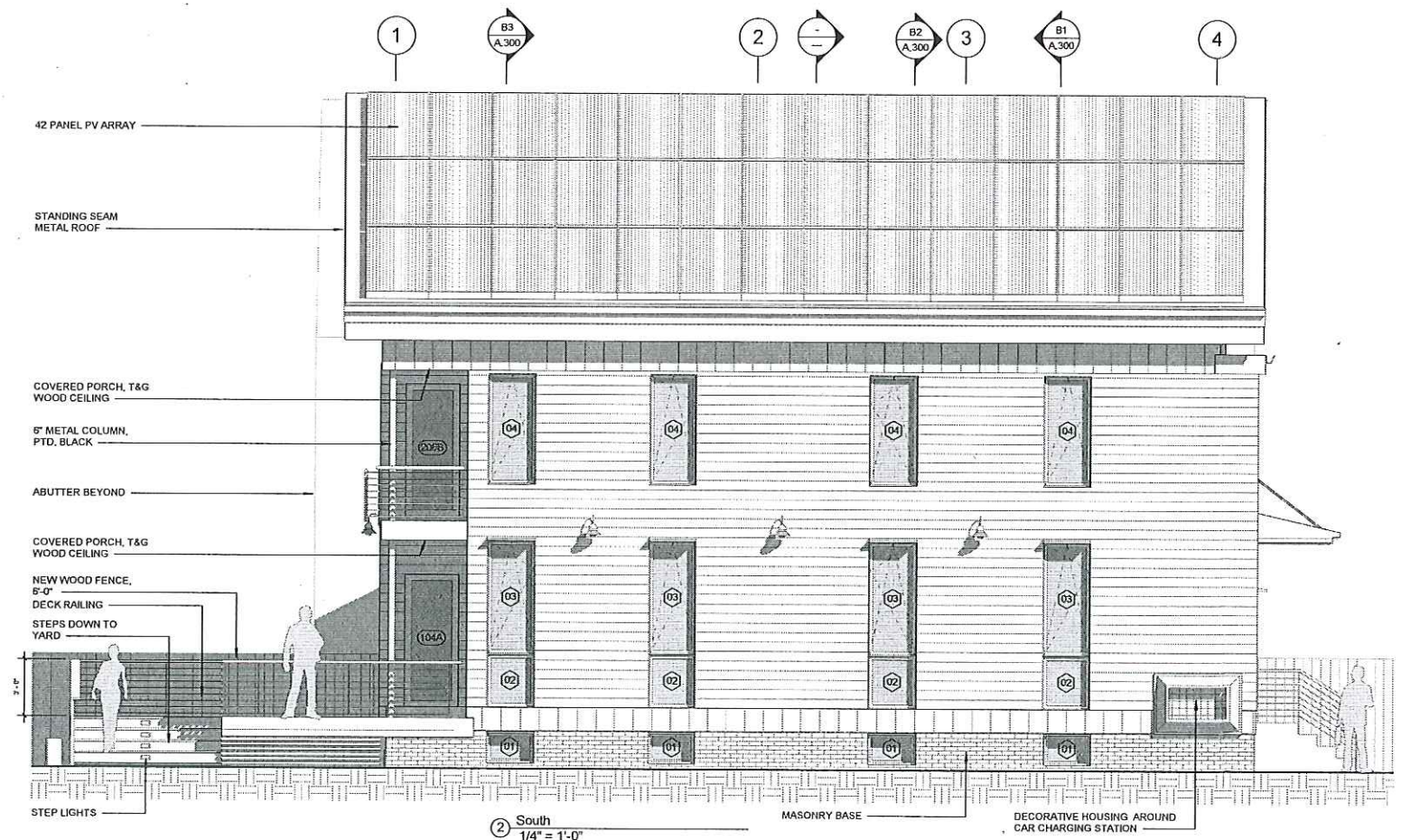
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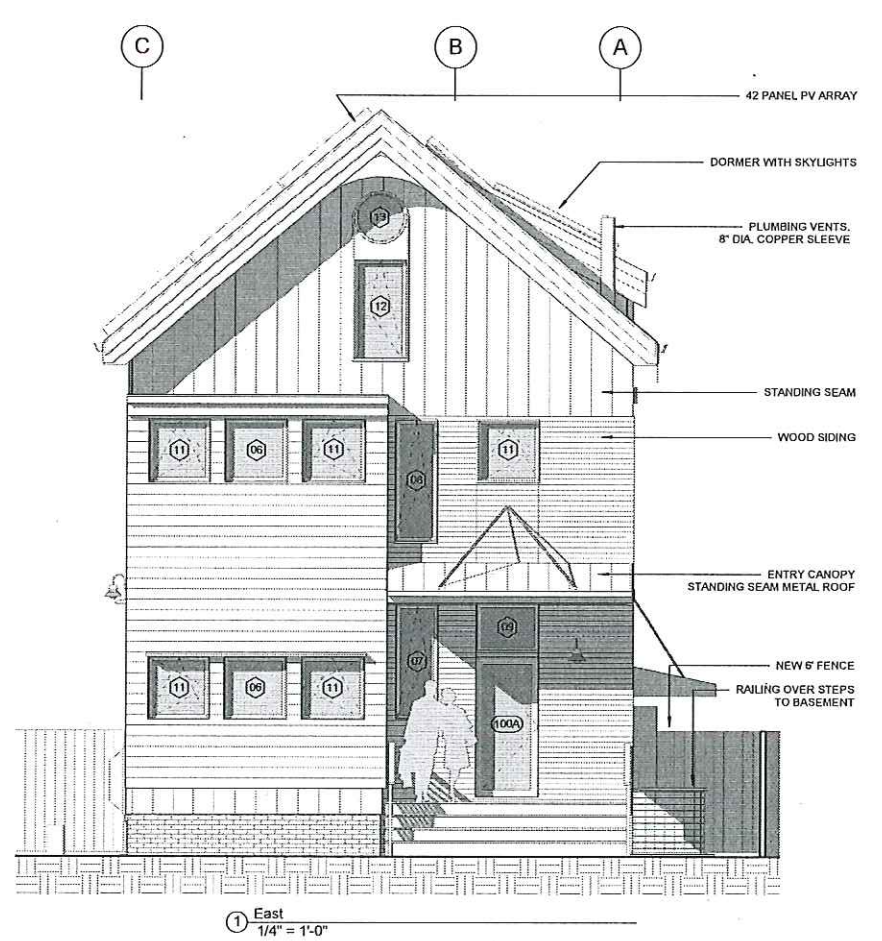
4 West
 1/4" = 1'-0"



3 North
 1/4" = 1'-0"



2 South
 1/4" = 1'-0"



1 East
 1/4" = 1'-0"

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Exterior Elevations

A.200

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