



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2024 JAN 11 PM 2:31

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 249521

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: Appeal:

PETITIONER: 8 Holly Ave, LLC C/O James J. Rafferty

PETITIONER'S ADDRESS: 907 Massachusetts Avenue, Cambridge, MA 02139

LOCATION OF PROPERTY: 8 Holly Ave., Cambridge, MA

TYPE OF OCCUPANCY: Two Family **ZONING DISTRICT:** Residence C-1 Zone

REASON FOR PETITION:

/Additions/


DESCRIPTION OF PETITIONER'S PROPOSAL:

Petitioner seeks to reconstruct and expand existing front porch and enclose portions of existing rear porch. Petitioner also seeks to install windows, a window well, and utility door on non-conforming walls.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).
Article: 8.000 Section: 8.22.2.d & Sec. 8.22.2.c (Non-Conforming Structure).
Article: 10.000 Section: 10.40 (Special Permit).

Original
Signature(s):



(Petitioner (s) / Owner)

James J. Rafferty, Attorney for Petitioner
(Print Name)

Address: 907 Massachusetts Avenue, Suite 300
Cambridge, MA 02139
Tel. No. 617.492.4100
E-Mail Address: jrafferty@adamsrafferty.com

Date: 1/9/24

OWNERSHIP INFORMATION FOR BOARD OF ZONING APPEAL RECORD

To be completed by OWNER, signed and returned to Secretary of Board of Appeal

8 Holly Ave, LLC
(Owner or Petitioner)

Address: c/o James J. Rafferty 907 Massachusetts Avenue, Cambridge MA 02139

Location of Premises: 8 Holly Avenue

the record title standing in the name of 8 Holly Ave, LLC

whose address is 8 Holly Avenue, Cambridge MA 02138
(Street) (City or Town) (State & Zip Code)

by a deed duly recorded in the Middlesex South County Registry of Deeds in

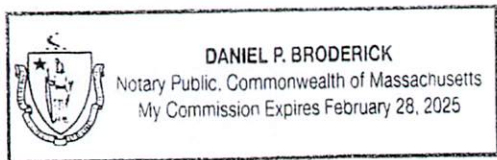
Book _____ Page _____ or _____ Registry

District of Land Court Certificate No. 282606 Book 1605 Page 86

EL (manager)
(Manager)

=====

On this 7th day of November, 2023, before me, the undersigned notary public, personally appeared Earl N. Henry II proved to me through satisfactory evidence of identification, which were personal knowledge, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that they signed it voluntarily for its stated purpose.



[Signature]
Notary Public

My commission expires: 2/28/25

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: 8 Holly Ave, LLC
Location: 8 Holly Ave., Cambridge, MA
Phone: 617.492.4100

Present Use/Occupancy: Two Family
Zone: Residence C-1 Zone
Requested Use/Occupancy: Two Family

| | | <u>Existing Conditions</u> | <u>Requested Conditions</u> | <u>Ordinance Requirements</u> | |
|--|------------|----------------------------|-----------------------------|-------------------------------|--------|
| <u>TOTAL GROSS FLOOR AREA:</u> | | 4,992 | 5,130 | 2,066 | (max.) |
| <u>LOT AREA:</u> | | 2,755 | no change | 5,000 | (min.) |
| <u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u> | | 1.8 | 1.8 | 0.75 | |
| <u>LOT AREA OF EACH DWELLING UNIT</u> | | 918 | 1,377 | 1,500 | |
| <u>SIZE OF LOT:</u> | WIDTH | 38' | no change | 50' | |
| | DEPTH | 72' 6.5" | no change | N/A | |
| <u>SETBACKS IN FEET:</u> | FRONT | 9' | no change | min 10' | |
| | REAR | 15' 8" | 9' 5.5" | 20' | |
| | LEFT SIDE | 6' 2.5" | no change | 7' 6" min | |
| | RIGHT SIDE | 5' 1" | no change | 7' 6" min | |
| <u>SIZE OF BUILDING:</u> | HEIGHT | 30' 9.5" | no change | 35' | |
| | WIDTH | +/- 51' | +/- 57' | N/A | |
| | LENGTH | +/- 26' 6" | no change | N/A | |
| <u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u> | | 32% | no change | 30% | |
| <u>NO. OF DWELLING UNITS:</u> | | 3 | 2 | 1 | |
| <u>NO. OF PARKING SPACES:</u> | | 2 | 2 | 2 | |
| <u>NO. OF LOADING AREAS:</u> | | N/A | N/A | N/A | |
| <u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u> | | N/A | N/A | N/A | |

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

N/A

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 8 Holly Ave. , Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

Section 8.22.2(d) allows for the construction of the proposed modifications upon the issuance of a Special Permit.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The proposed alterations are modest and will not have any impact on existing traffic patterns. In fact, the proposed work will result in a less intense use of the property by being converted from a three family dwelling to a two family dwelling.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The adjacent uses are all similarly sized two and three family dwellings that will not be impacted by the proposed alterations.

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The proposed modifications will be constructed in accordance with all the requirements of the State Building Code.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The reduction from three units to two units makes the property more compliant with the lot area per dwelling unit requirement of the Residence C-1 Zoning District.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

| ARCHITECTURAL DRAWING LIST | | |
|----------------------------|------------------------------|------------------|
| Sheet Number | Sheet Name | Sheet Issue Date |
| 0-Cover | | |
| A-000 | COVER SHEET | 11/10/23 |
| 1-Civil | | |
| C-1 | EXISTING PLOT PLAN | 10/11/23 |
| 2-Landscape | | |
| L1 | LANDSCAPE PLAN | 10/11/23 |
| 3-Architectural | | |
| A-020 | ARCHITECTURAL SITE PLAN | 11/10/23 |
| A-031 | GROSS AREA PLANS | 11/10/23 |
| EX-100 | EXISTING PLANS | 11/10/23 |
| A-100 | BASEMENT & FIRST FLOOR PLANS | 11/10/23 |
| A-101 | SECOND & THIRD FLOOR PLANS | 11/10/23 |
| EX-101 | EXISTING ELEVATIONS | 11/10/23 |
| A-300 | BUILDING ELEVATIONS | 11/10/23 |
| A-301 | PERSPECTIVES | 11/10/23 |



PROJECT: HOLLY AVENUE RESIDENCES

PROJECT ADDRESS:
8 HOLLY AVENUE
CAMBRIDGE MASSACHUSETTS

ARCHITECT
KHALSA DESIGN INC.
ADDRESS:
17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143

OWNER
JACK MAHONEY
ADDRESS:
195 MASS AVE.
LEXINGTON, MA 02143

STRUCTURAL
DAVIDSON ENGINEERING ASSOCIATES, INC.
www.DavidsonEngineering.com
ADDRESS:
377 SOMERVILLE AVE.
SOMERVILLE, MA 02143

LANDSCAPE
VERDANT LANDSCAPE ARCHITECTURE
ADDRESS:
318 HARVARD STREET,
BROOKLINE, MA 02446

CIVIL
MORAN SURVEYING INC.
ADDRESS:
14 WILLIAM AVE.
PEMBROKE, MA 02359

BZA SET
11/10/2023


LOCUS MAP



PROJECT NAME
8 HOLLY AVE. RESIDENCES

PROJECT ADDRESS
8 HOLLY AVE.
CAMBRIDGE, MA

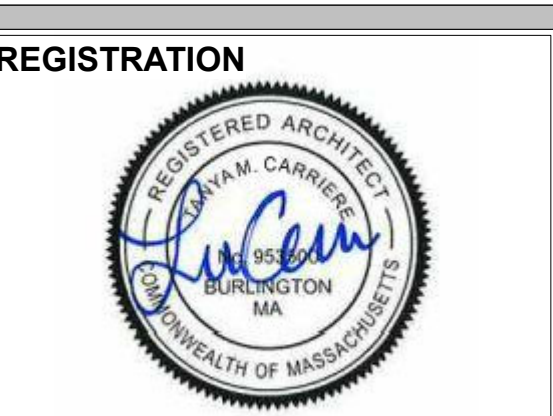
CLIENT
JACK MAHONEY

ARCHITECT

KHALSA

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682

CONSULTANTS:

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SHALL RESULT IN THE FULLEST EXTENT
OF PROSECUTION UNDER LAW



| | |
|----------------|------------|
| Project number | 23045 |
| Date | 11-10-2023 |
| Drawn by | RR |
| Checked by | WC |
| Scale | |

| REVISIONS | | |
|-----------|-------------|------|
| No. | Description | Date |
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COVER SHEET

A-000
8 HOLLY AVE. RESIDENCES

FOR REGISTRY USE ONLY

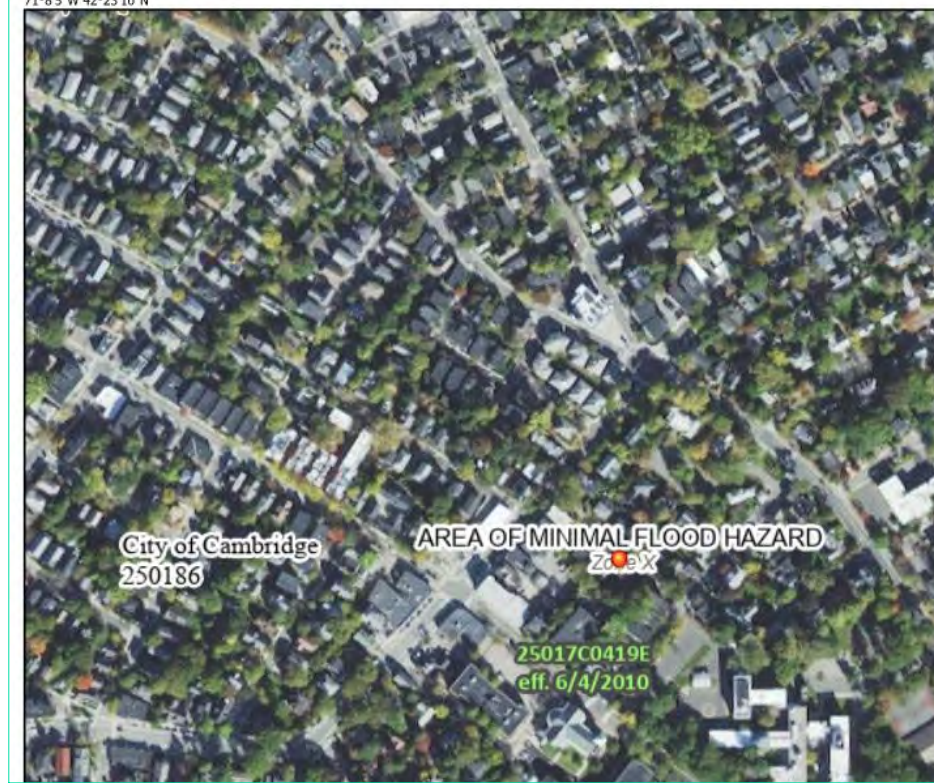
LOCUS OWNERS:
GALLAGHER, HOLLY AVE LLC

ASSESSORS PARCELS IDS:
227-102
227-12
227-101

PLAN REFERENCE:
1. LAND COURT 20847A
2. PLAN OF BUILDING LOTS IN
CAMBRIDGE, PLAN BOOK 19B PAGE
58, W.A. MASON SURVEYOR
3. PLAN 940 OF 1961
4. PLAN 1359 OF 2002
5. PLAN 1075(A OF 2) 1984
6. PLAN 2480 END

NOTES:
1. THE PROPERTY LINES SHOWN HEREIN ARE COMPILED FROM PLANS AND DEEDS OF RECORD AND ARE SUPPLEMENTED BY AN ON THE GROUND SURVEY. THIS PLAN IS NOT A BOUNDARY LINE RETRACEMENT SURVEY.
2. THE BASIS OF BEARING FOR THIS PLAN IS MA STATE PLANE, NAD83 AND NGVD88.
3. SUBSURFACE UTILITIES ARE ASSUMED BASED ON SURFACE LOCATIONS OF STRUCTURES ACQUIRED AT THE TIME OF THE SURVEY. PIPE SIZES AND DIMENSIONS HAVE NOT BEEN VERIFIED BY SUBSURFACE ACQUISITION OF ANY KIND.
4. THE PURPOSE OF THIS SURVEY IS TO DOCUMENT THE LOCUS FEATURES AS THEY APPEAR AT THE TIME OF THE SURVEY (08.01.23)
5. THE ABUTTING STRUCTURES ARE SKETCHED FROM A COMBINATION OF ON THE GROUND FIELD SURVEY AND NOAA LIDAR DATA. THE LATER BEING REPRESENTATIVE OF THE ROOFS.
6. TOP OF CONCRETE WALL LOCATED, TOP LEANS INTO LOCUS. LOCUS CONSISTS OF TWO PARCELS, ONE REGISTERED LAND THE OTHER UNREGISTERED LAND. THE LATER IS DESCRIBED BY DEED BOOK 12345 PAGE 732. THE REGISTERED PARCEL IS SHOWN ON PLAN 20847A, CERTIFICATION 259899
7. LOCUS PREDATES CURRENT ZONING REQUIREMENTS
8. THIS PERCENTAGE REPRESENTS DWELLING, ASPHALT DRIVEWAY AND SIDE ASPHALT WALKWAY.

National Flood Hazard Layer FIRMette

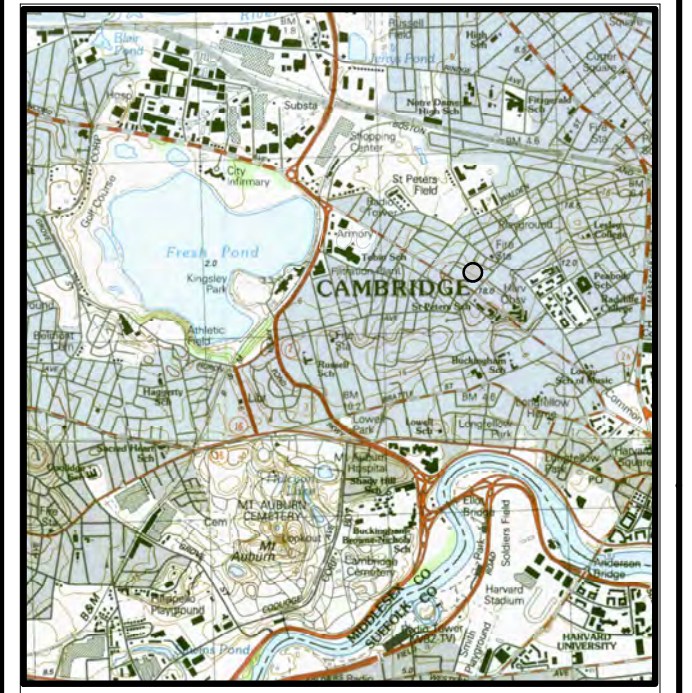


ZONING INFORMATION

LOCUS PARCEL LIES IN ZONE C-1 MULTI FAMILY DWELLINGS. AS SHOWN ON ZONING OVERLAY DISTRICTS, CITY OF CAMBRIDGE, ADOPTED FEBRUARY 13, 1961 AND MODIFIED ORDINANCE #2022-21 OF APRIL 3, 2023.
DIMENSIONAL REQUIREMENTS FOR (C-1) ARE:

| | REQUIRED | ACTUAL |
|----------------------|----------|--------------|
| MINIMUM LOT AREA(SF) | NOTE 8 | 2,935 NOTE 7 |
| MINIMUM FRONTAGE(FT) | " " | 38.00 |
| MINIMUM LOT DEPTH | " " | 72.50 |
| SETBACK REQUIREMENT | | |
| FRONT(FT) | NOTE 8 | 9.0'± |
| SIDE(FT) | " " | 15.0'± |
| REAR(FT) | " " | 5.2'± |
| HEIGHT(FT) | " " | 33'± |
| LOT COVERAGE(SF) | " " | 59% NOTE 9 |

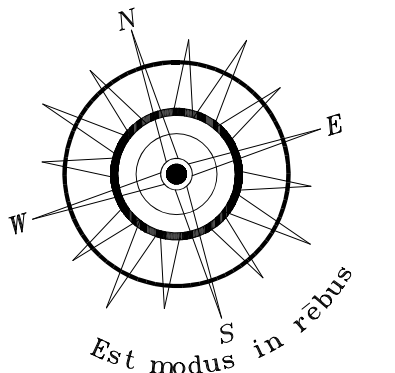
DIMENSIONAL REGULATIONS LINK:
https://library.municode.com/ma/cambridge/codes/zoning_ordinance?nodeId=ZONING_ORDINANCE_ARTS.000DEST_5.30DDIRE



LOCUS MAP N.T.S

| REVISIONS | DATE |
|-----------|------|
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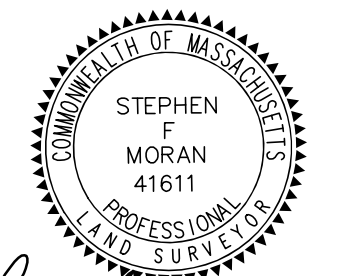
PLAN OF LAND
PREPARED FOR
JACK MAHONEY
8 HOLLY
AVENUE
CAMBRIDGE, MA.



MORAN
SURVEYING
INCORPORATED

14 William Ave
Pembroke, MA 02359
Telephone 781.293.5601
Fax 781.293.1952
Professional Land Surveyors
Land Planners
www.moransurveying.com

I CERTIFY THAT THE LOCATION OF THE EXISTING STRUCTURES AS SHOWN ON THIS PLAN ARE CORRECT AND ARE THE RESULT OF AN ACTUAL "ON THE GROUND" SURVEY PERFORMED BY MORAN SURVEYING INC. IN JULY 2023.



Stephen F. Moran 08.03.23
STEPHEN F. MORAN DATE

SCALE: 1" = 10'
0' 10' 20' 30'

DATE: 3 AUGUST 2023

COMP./DESIGN: SFM

CHECK: SFM

DRAWN: SFM

FIELD: SFM/JT

APPROVED: SFM

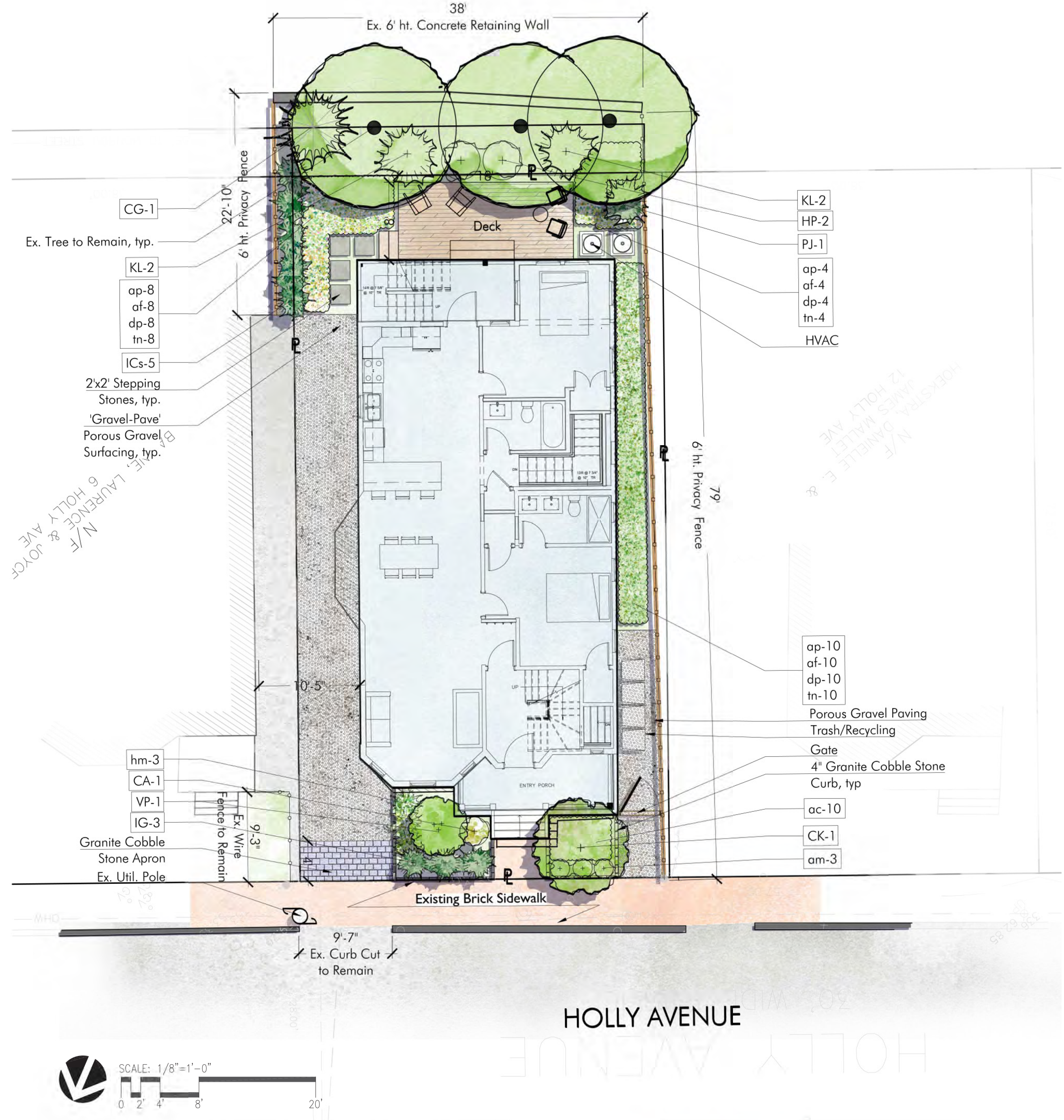
DWG.No. 23-037

JOB No. 23-037

SHEET
1 OF 1

LEGEND
NOT TO SCALE

| | | | |
|-------|---------------|-------------|---------------------------|
| ○ DMH | DRAIN MANHOLE | — | SIGN |
| ○ SMH | SEWER MANHOLE | ● DH | DRILL HOLE |
| □ CBN | CATCH BASIN | □ SB/DH | STONE BOUND W/DH |
| ⊕ HYD | HYDRANT | ---55--- | EXIST. CONTOUR |
| ⊕ WG | WATER GATE | — · — · — | OVERHEAD WIRES |
| ⊕ WS | WATER SERVICE | ○ ○ ○ ○ ○ ○ | STONE WALL |
| ⊕ UP | UTILITY POLE | ⊗ ⊗ ⊗ | EXISTING TREES AND SHRUBS |
| ☆ LP | LIGHT | ~~~~~ | TREELINE/LANDSCAPE |
| ⊕ YD | YARD LIGHTING | — · — · — | WETLAND BUFFER ZONE |
| ○ GV | GAS VALVE | — · — · — | WETLAND LINE |
| | | — G — G — | GAS LINE BURIED |



Granite Cobble Stone Apron on Driveway Entrance



6' Wooden Privacy Fence

| PROPOSED PLANT LIST | | | | | |
|---------------------------|------|--|-----------------------|----------|------------------|
| SYMB | QTY. | LATIN NAME | COMMON NAME | SIZE | NOTES |
| TREES | | | | | |
| CG | 1 | <i>Cedrus atlantica</i> 'Glauca' | Blue Atlas Cedar | 7-8' ht. | |
| CK | 1 | <i>Cornus kousa</i> | Kousa Dogwood (white) | 3' cal. | B&B single trunk |
| SHRUBS & VINES | | | | | |
| CA | 1 | <i>Cornus alba</i> 'Sibirica' | Red Twig Dogwood | 3 gal. | Pots Native MA |
| HP | 2 | <i>Hydrangea paniculata</i> 'Limelight' | panicle hydrangea | 5 gal. | Pot |
| IG | 1 | <i>Ilex crenata</i> 'Green Lustre' | Green Lustre Holly | 24" ht. | Pot |
| ICs | 3 | <i>Ilex glabra</i> 'Densa' | Inkberry | 5 gal. | Pot |
| PJ | 1 | <i>Pieris jap.</i> 'Mtn Fire' | Mtn Fire Andromeda | 5 gal. | Pot |
| KL | 2 | <i>Kalmia latifolia</i> | Mountain Laurel | 5 gal. | Pots Native |
| VP | 1 | <i>Viburnum plicatum</i> f. <i>tomentosum</i> 'Mariesii' | doublefile viburnum | 5 gal. | Pots |
| HERBACEOUS | | | | | |
| af | 22 | <i>Athyrium filix-femina</i> | Common Lady-Fern | 2 gal. | Pots, 18" o.c. |
| am | 3 | <i>Alchemilla mollis</i> | Lady's mantle | 1 gal. | Pot, |
| ap | 22 | <i>Adiantum pedatum</i> | Maidenhair Fern | 2 gal. | Pot, 30" o.c. |
| dp | 22 | <i>Dennstaedtia punctilobula</i> | Hay-Scented Fern | 2 gal. | Pots, 18" o.c. |
| hm | 4 | <i>Hakonechloa macra</i> 'Aureola' | Goldem Hakone Grass | 2 gal. | Pot, |
| tn | 22 | <i>Thelypteris noveboracensis</i> | New York Fern | 1 gal. | Pots, 28" o.c. |



Blue Atlas Cedar (CG)



Kousa Dogwood (white) (CK)



Red Twig Dogwood (CA)



Panicle Hydrangea (HP)



Green Lustre Holly (ICs)



Inkberry (IG)



Mtn Fire Andromeda (PJ)



Mountain Laurel (KL)



Doublefile Viburnum (VD)



Golden Hakone Grass (hm)



Lady's Mantle (am)



New York Fern (tn)



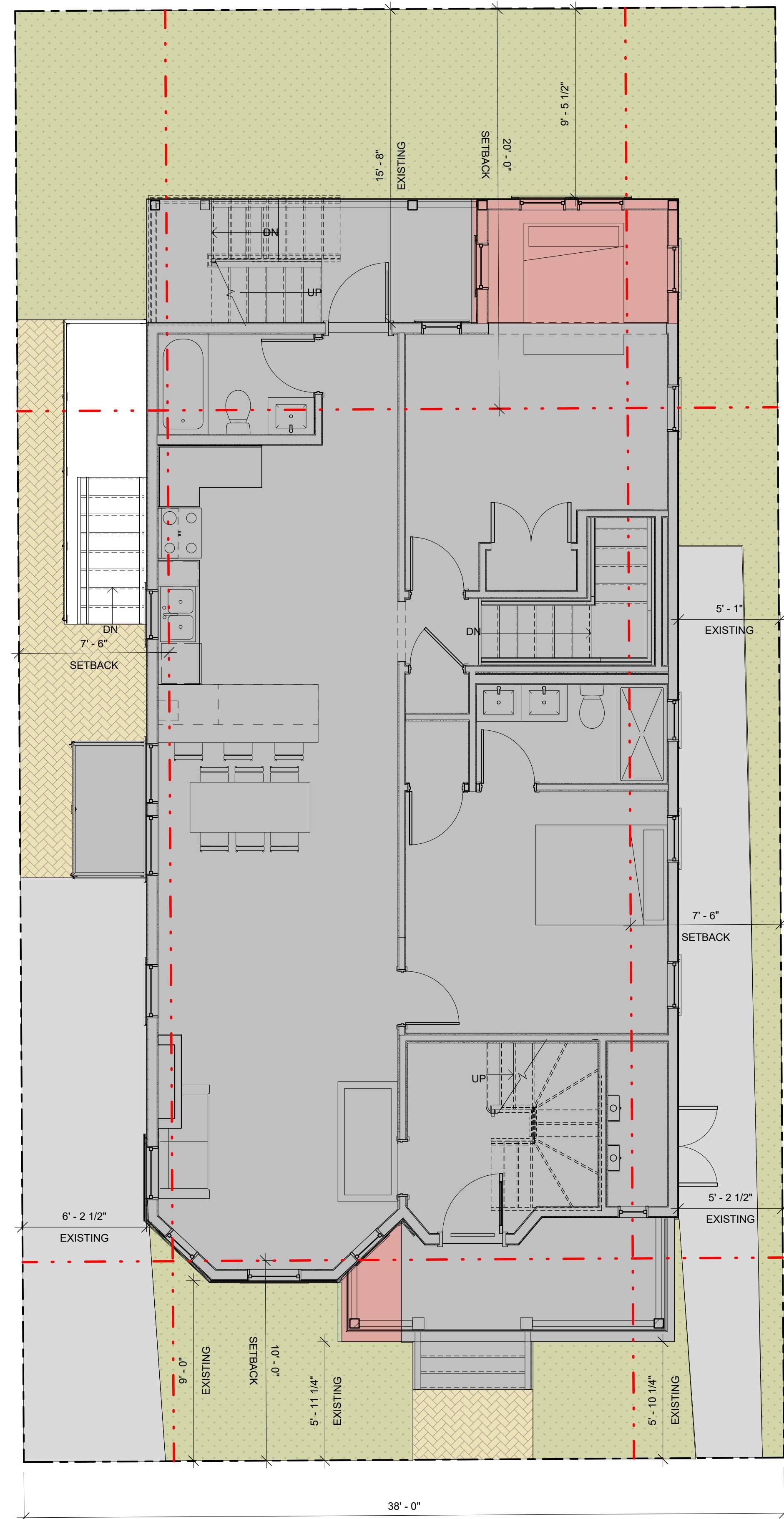
8 HOLLY AVENUE
Cambridge, MA
LANDSCAPE PLAN

| | |
|-----------------|------------------|
| Project #: | Date: 10/06/2023 |
| Drawn by: WK | Reviewed: KP |
| Scale: AS NOTED | |

| Revisions: |
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L1

| ZONING DIMENSIONAL TABLE | | | | |
|--------------------------------------|------------------------|-------------------------------------|-------------------------------------|--|
| | ALLOWED / REQUIRED | EXISTING | PROPOSED | COMPLIANCE |
| ZONE | RES C-1 | | | |
| BUILDING TYPE | MULTIFAMILY | MULTIFAMILY | 2- FAMILY | COMPLIES |
| LOT SIZE | 5,000 SF | 2,755 SF ± | NO CHANGE | EXISTING NON-CONFORMING |
| LOT DIMENSIONS | | | | |
| MAX RATION OF FLOOR AREA TO LOT AREA | 0.75 | (4,992/2,755) 1.8 | (5,130/2,755) 1.8 | EXISTING NON-CONFORMING |
| MIN. LOT SIZE IN SF | 5,000 | 2,755 SF ± | 2,755 SF ± | EXISTING NON-CONFORMING |
| MIN. LOT SIZE IN SF/ DU | 1,500 SF | 918 SF | 1,377 SF | |
| MIN. LOT WIDTH | 50 FT | 38 FT | 38 FT | EXISTING NON-CONFORMING |
| BUILDING SETBACKS | | | | |
| MIN. FRONT YARD | H+L/4 (AT LEAST 10FT) | 9'-0" | 9'-0" | EXISTING NON-CONFORMING |
| MIN SIDE YARD | H+L/5 (AT LEAST 7.5FT) | LEFT : 6'- 2 1/2" RIGHT : 5'- 1" | LEFT : 6'- 2 1/2" RIGHT : 5'- 1" | EXISTING NON-CONFORMING EXISTING NON-CONFORMING |
| MIN. REAR YARD | H+L/4 (AT LEAST 20FT) | 15'-8" | 9'-5 1/2" | REQUIRES RELIEF |
| MAX. HEIGHT | 35 FT | 30' -9.5" | NO CHANGE | EXISTING / NO CHANGES COMPLIES |
| MIN. USABLE OPEN SPACE RATIO | 30% | 32% | NO CHANGE | COMPLIES |
| PARKING SPACES | | | 2 | COMPLIES |



1 SITE PLAN
1/4" = 1'-0"

SITE PLAN LEGEND

- EXISTING FOOTPRINT
- PROPOSED FOOTPRINT
- LANDSCAPE
- PAVERS
- REQUIRED SETBACKS

NOTE:
THIS PLAN IS FOR INFORMATIONAL AND ILLUSTRATIVE PURPOSES ONLY. THE PREPARER OF THIS PLAN MAKES NO CLAIM TO ITS ACCURACY. THIS PLAN SHALL NOT BE USED OR RELIED UPON IN ANY CIRCUMSTANCE. A CERTIFIED LAND SURVEYOR SHALL PROVIDE AN OFFICIAL CERTIFIED PLOT PLAN.

PROJECT NAME
8 HOLLY AVE. RESIDENCES

PROJECT ADDRESS
8 HOLLY AVE.
CAMBRIDGE, MA

CLIENT
JACK MAHONEY

ARCHITECT

DESIGN

KHALSA

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682

CONSULTANTS:

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REGISTRATION

Project number 23045
Date 11-10-2023
Drawn by RR
Checked by WC
Scale As indicated

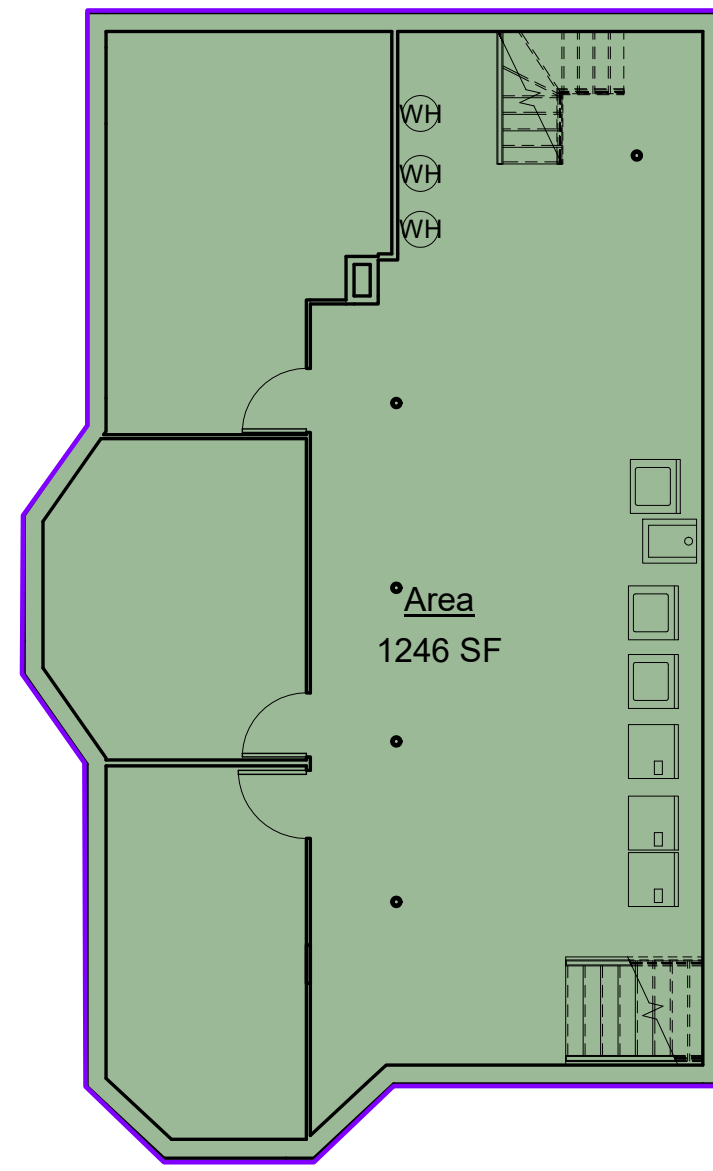
REVISIONS

| No. | Description | Date |
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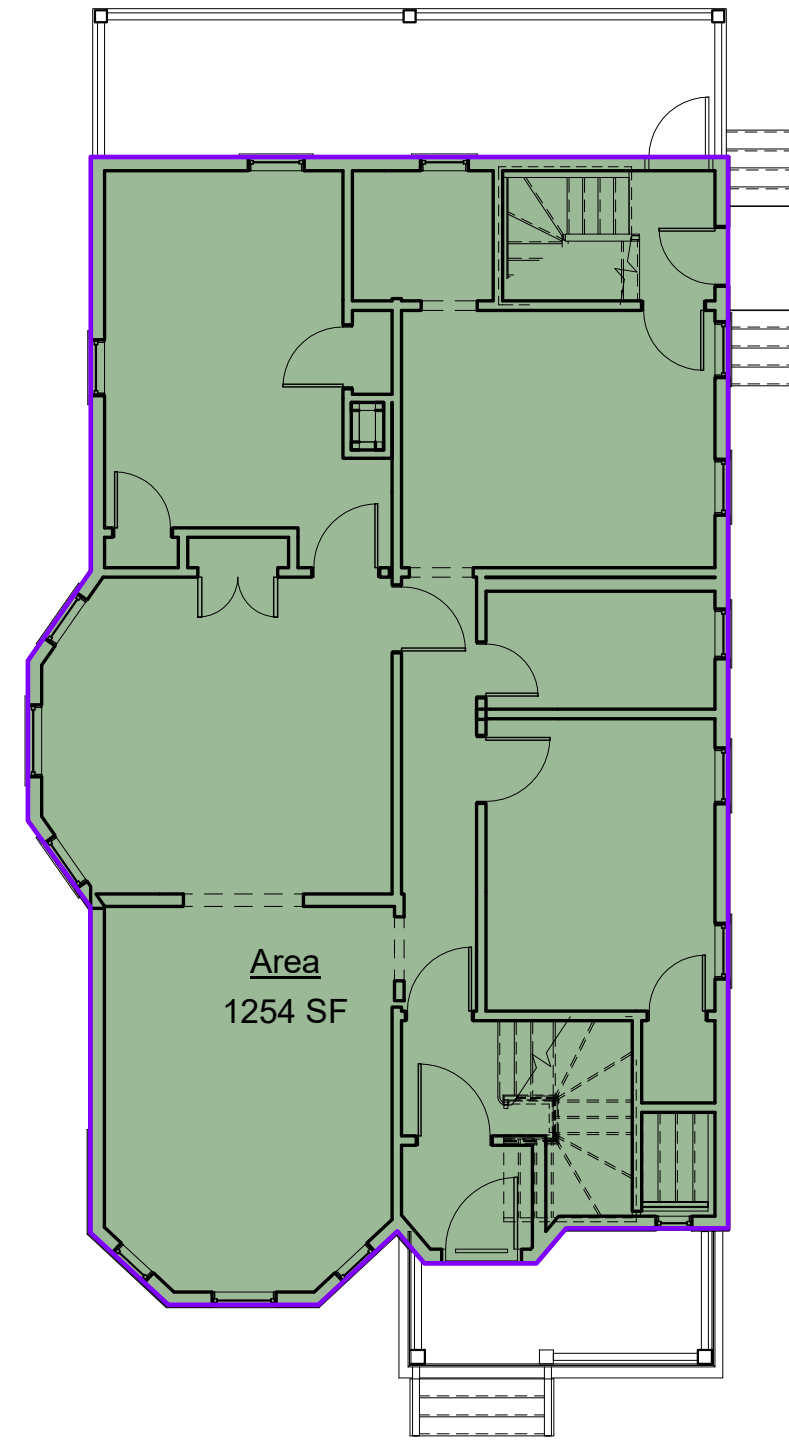
ARCHITECTURAL SITE PLAN

A-020
8 HOLLY AVE. RESIDENCES

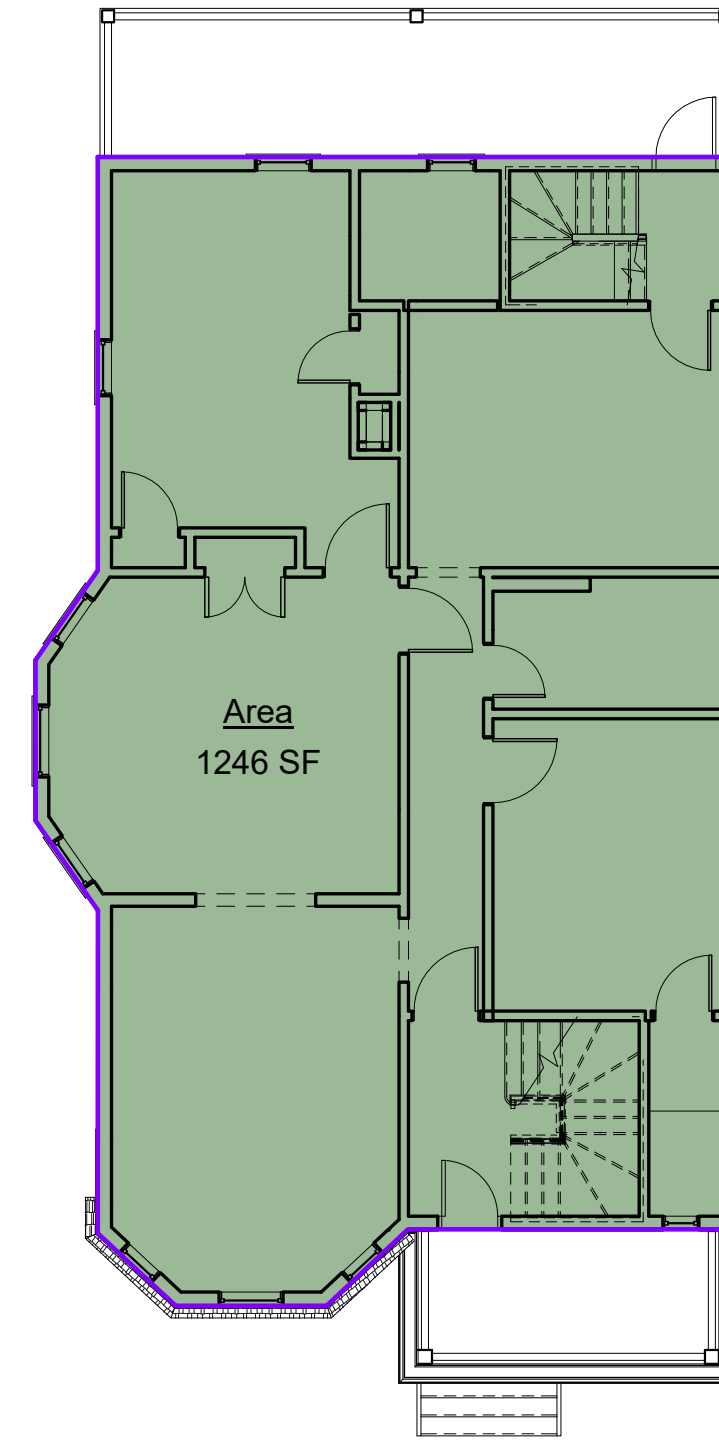
EXISTING



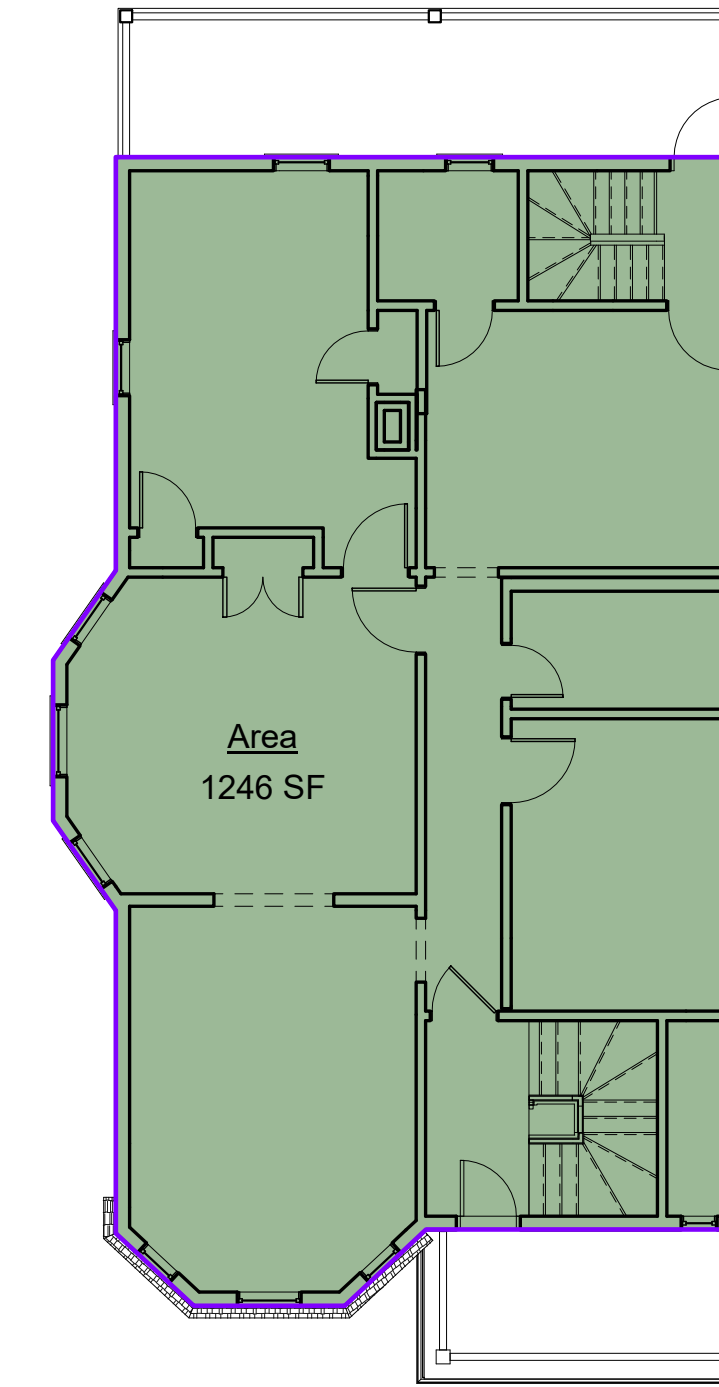
① EXISTING BASEMENT
1/8" = 1'-0"



② EXISTING 1ST FLOOR
1/8" = 1'-0"

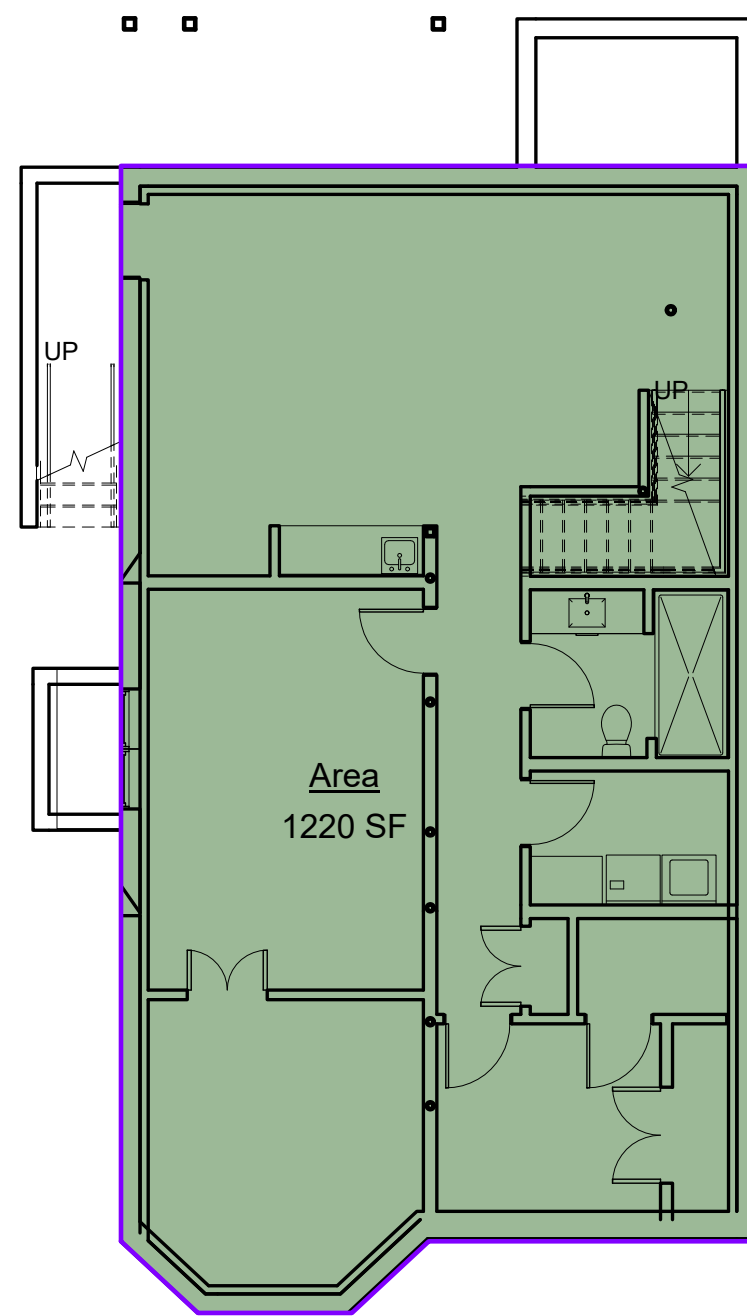


③ EXISTING 2ND FLOOR
1/8" = 1'-0"

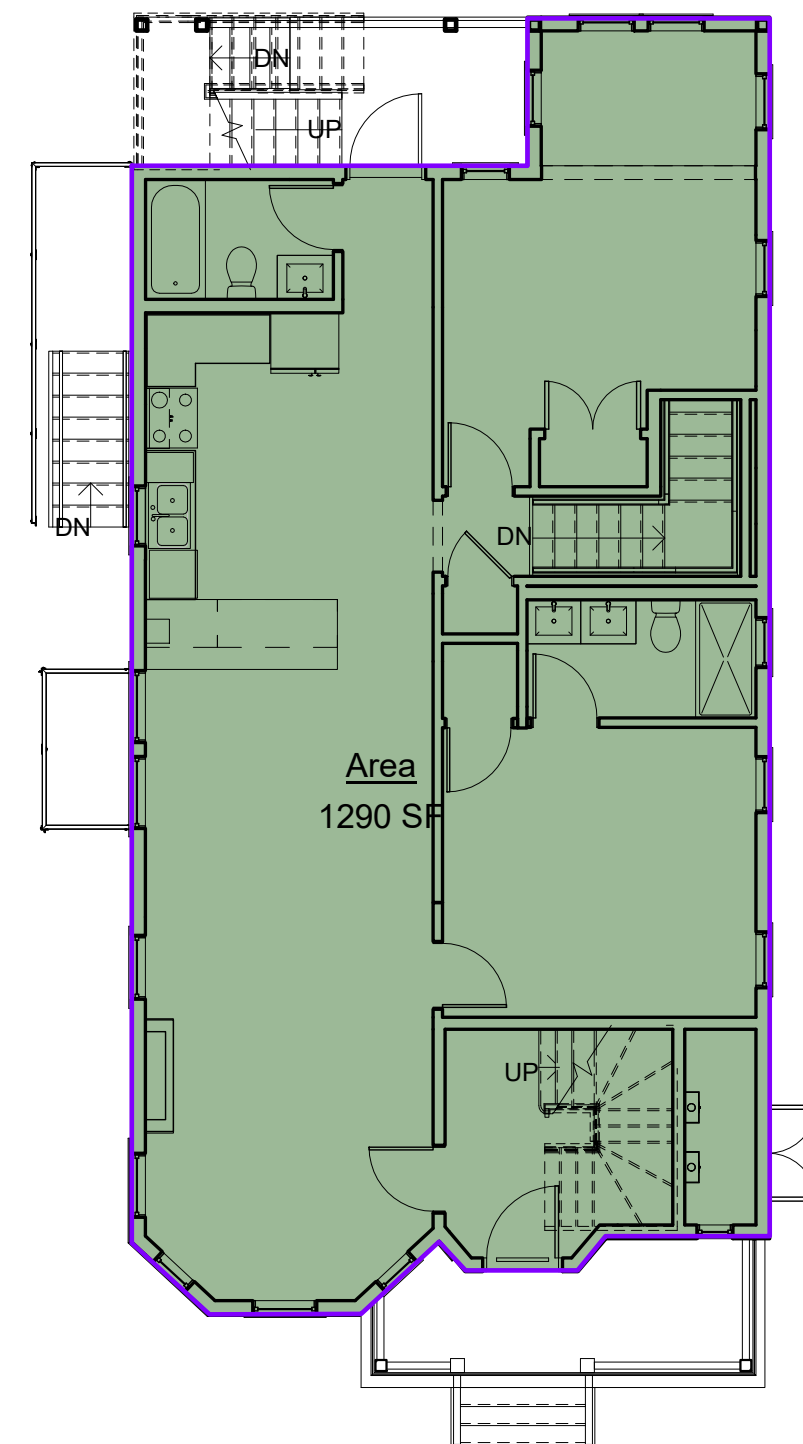


④ EXISTING 3RD FLOOR
1/8" = 1'-0"

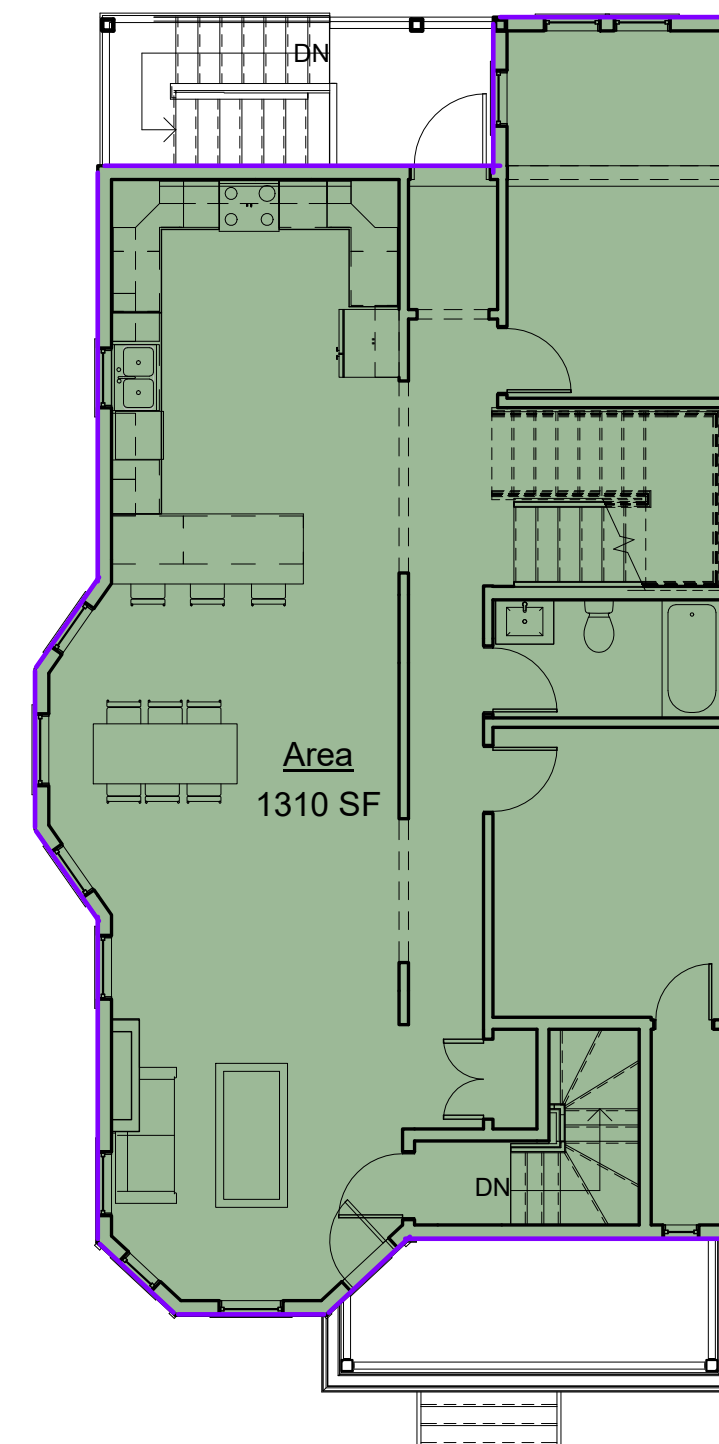
PROPOSED



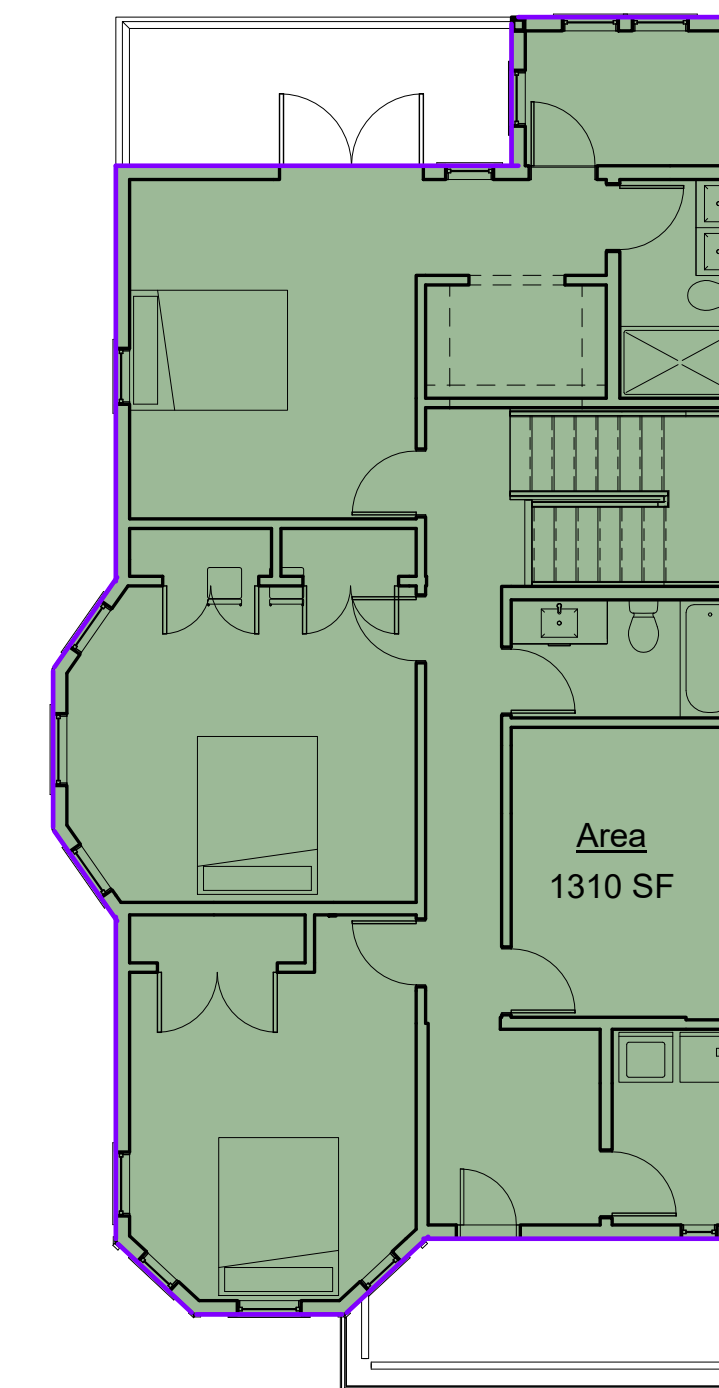
⑤ PROPOSED BASEMENT
1/8" = 1'-0"



⑥ PROPOSED 1ST FLOOR
1/8" = 1'-0"



⑦ PROPOSED 2ND FLOOR
1/8" = 1'-0"



⑧ PROPOSED 3RD FLOOR
1/8" = 1'-0"

PROJECT NAME

**8 HOLLY AVE.
RESIDENCES**

PROJECT ADDRESS

8 HOLLY AVE.
CAMBRIDGE, MA

CLIENT

JACK MAHONEY

ARCHITECT



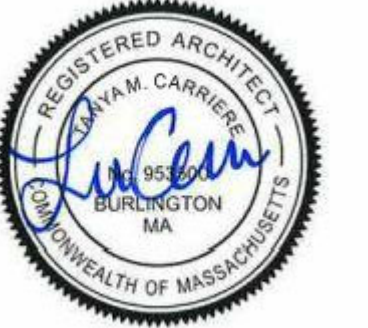
KHALSA

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682

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OF PROSECUTION UNDER LAW

REGISTRATION



Project number 23045
Date 11-10-2023
Drawn by RR
Checked by WC
Scale 1/8" = 1'-0"

REVISIONS

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**GROSS AREA
PLANS**

A-031

8 HOLLY AVE. RESIDENCES

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PROJECT NAME

8 HOLLY AVE. RESIDENCES

PROJECT ADDRESS

8 HOLLY AVE. CAMBRIDGE, MA

CLIENT

JACK MAHONEY

ARCHITECT



17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682

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REGISTRATION



Project number 23045 Date 11-10-2023 Drawn by RR Checked by WC Scale 1/4" = 1'-0"

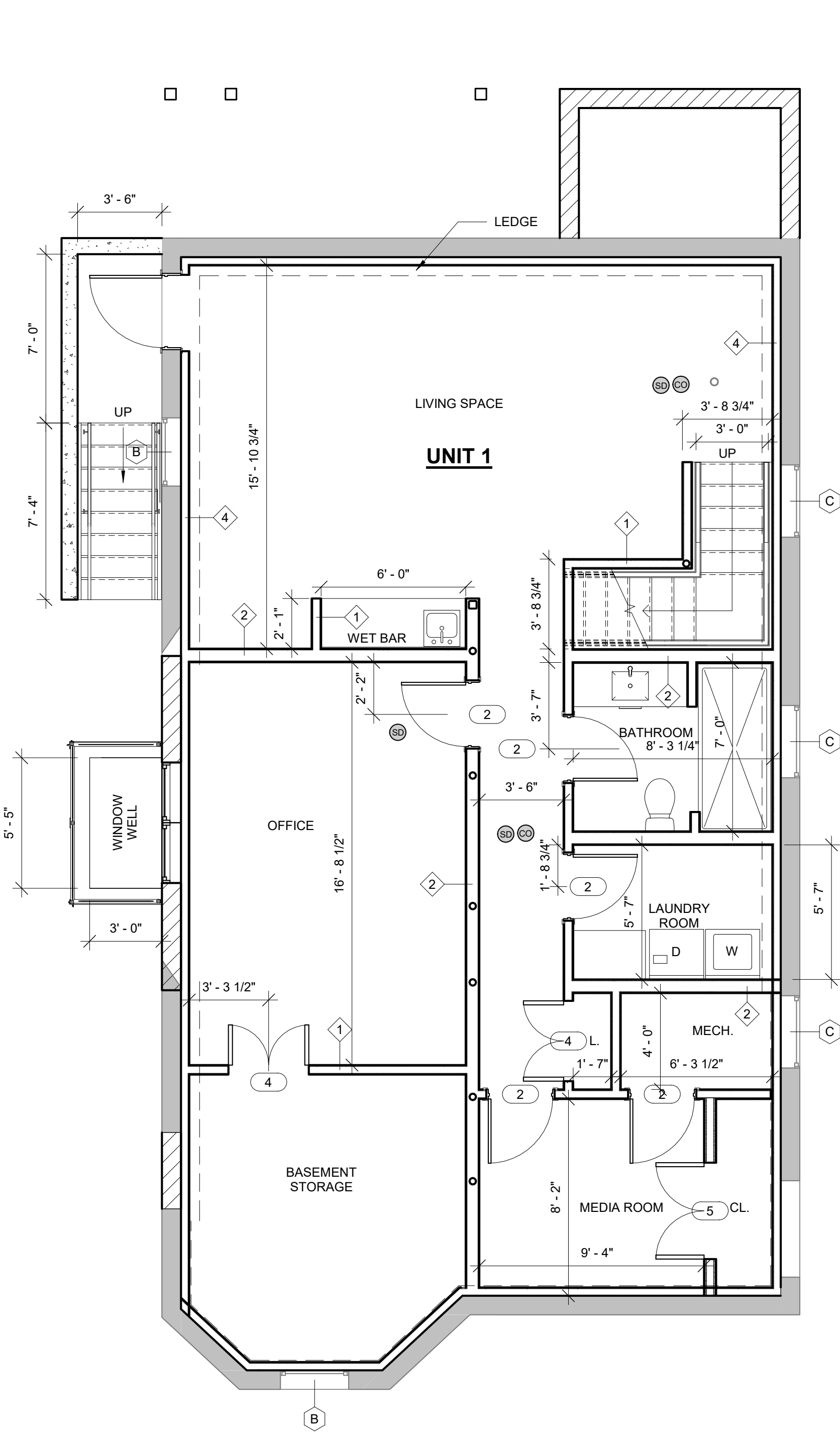
REVISIONS

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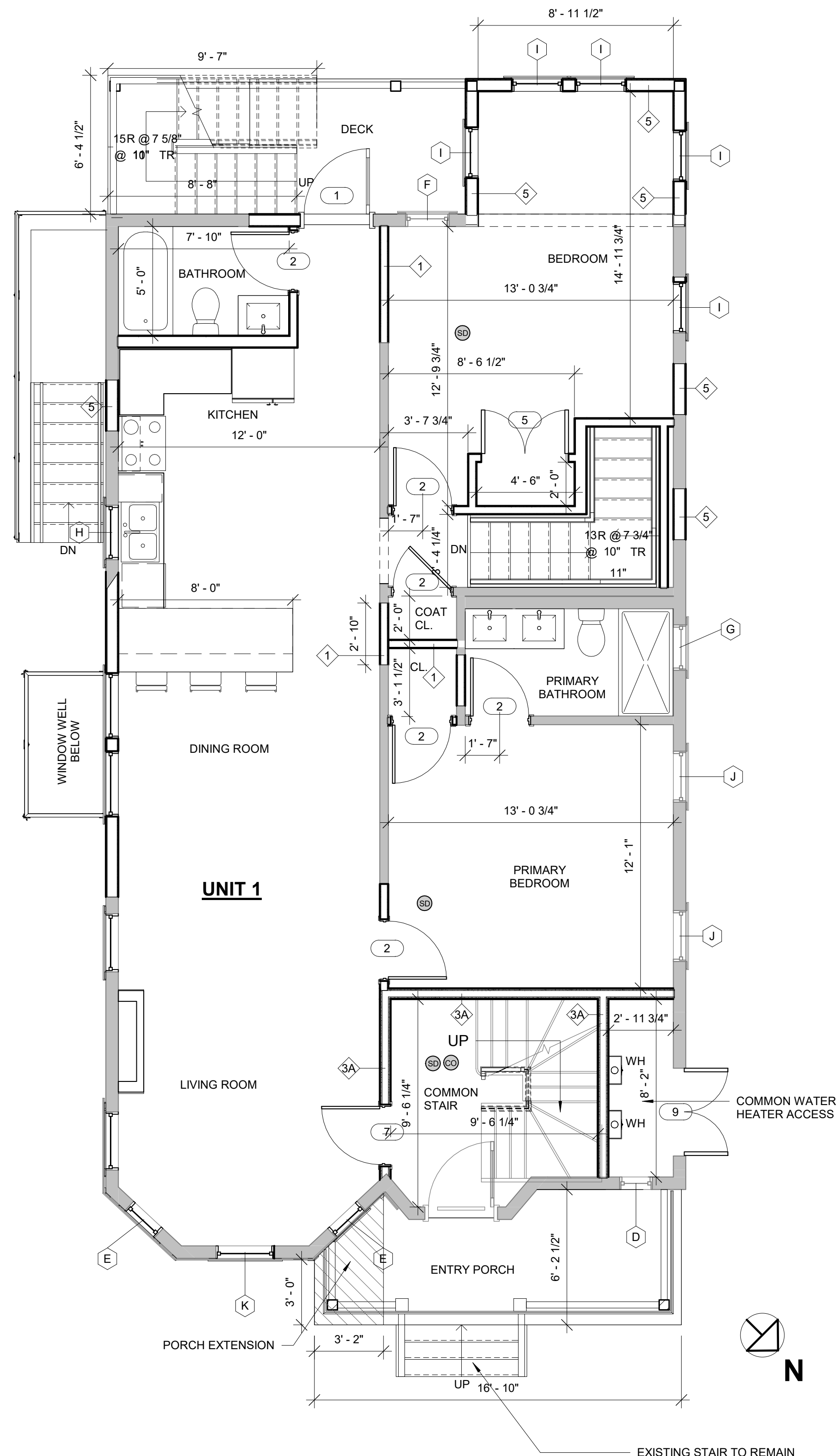
BASEMENT & FIRST FLOOR PLANS

A-100

8 HOLLY AVE. RESIDENCES



1 BASEMENT 1/4" = 1'-0"



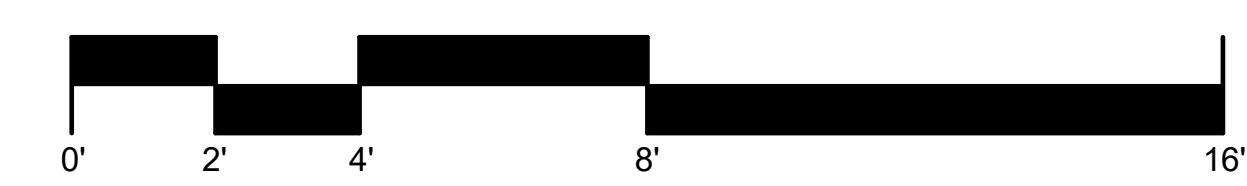
2 1ST FLOOR 1/4" = 1'-0"

LEGEND

- NEW WALL
EXISTING WALL TO REMAIN
WALL TYPE
EXHAUST VENT
FLOOR DRAIN
SMOKE DETECTOR
CO DETECTOR

GENERAL FLOOR PLAN NOTES

- 1. FINAL KITCHEN LAYOUT TO BE DETERMINED BY OWNER.
2. ALL INTERIOR FINISHES TO BE DETERMINED BY OWNER.
3. UNLESS OTHERWISE NOTED ALL NEW EXTERIOR WALLS ARE TYPE "5".
4. UNLESS OTHERWISE NOTED ALL EXISTING EXTERIOR WALLS ARE TYPE "6".
5. UNLESS OTHERWISE NOTED ALL INTERIOR WALL SHALL BE TYPE "1".
6. SEE A-910 FOR PARTITION TYPES.
7. MOISTURE RESISTANT GWB. BOARD TO BE USED IN ALL BATHROOMS AND KITCHENS
8. SEE A-900 FOR DOOR & WINDOW DETAILS
9. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE GWB
10. ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF PLYWOOD SHEATHING, TYP., U.N.O.
11. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES
12. ELECTRICAL OUTLETS ON OPPOSITE SIDE OF WALL SHOULD BE INSTALLED AT LEAST 2'-0" FROM EACH OTHER.
13. CONTRACTOR TO VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO DEMOLITION & CONSTRUCTION.
14. CONTRACTOR TO COORDINATE DESIGN BUILD DRAWINGS OF MECHANICAL, ELECTRICAL, PLUMBING, & FIRE PROTECTION PRIOR TO CONSTRUCTION.
15. REFER TO SHEETS A-520 AND A-630 FOR ROOF DETAILS.
16. CENTER CLOSET DOORS UNLESS OTHERWISE NOTED. DOOR TO BE 6" FROM WALL ON HINGE SIDE UNLESS OTHERWISE NOTED
17. ALL EXTERIOR WALLS ARE EXISTING UNLESS NOTED



Vertical text on the right edge: G:\23045_Cambridge\03 Drawings\00_ARCH_SD_DD\2023.10.23\045_8 Holly Ave_Cambridge_Mahoney_permit_set_option 2.rvt 11/19/2023 5:14:15 PM

PROJECT NAME

8 HOLLY AVE. RESIDENCES

PROJECT ADDRESS

8 HOLLY AVE. CAMBRIDGE, MA

CLIENT

JACK MAHONEY

ARCHITECT



17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682

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REGISTRATION



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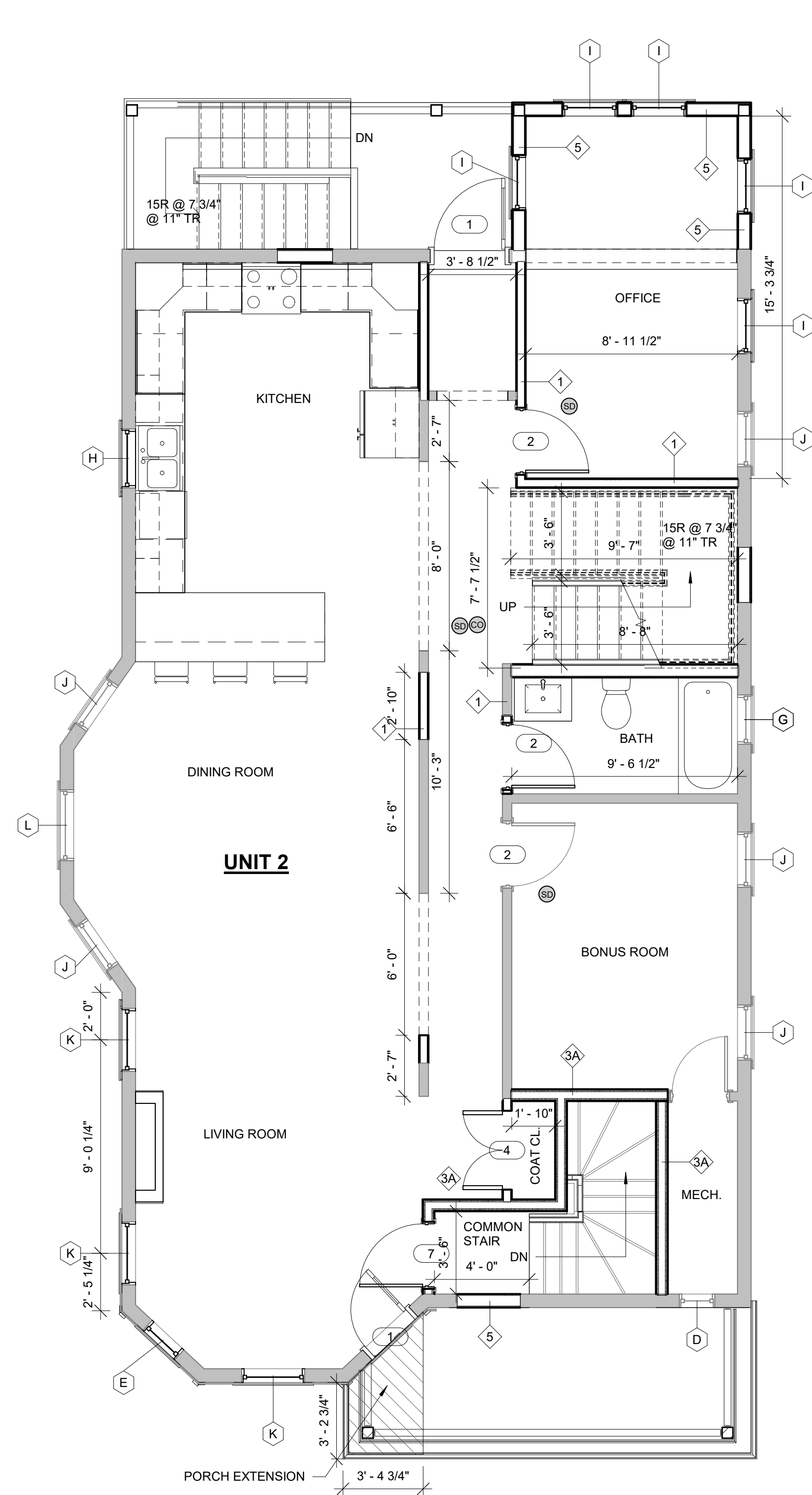
REVISIONS

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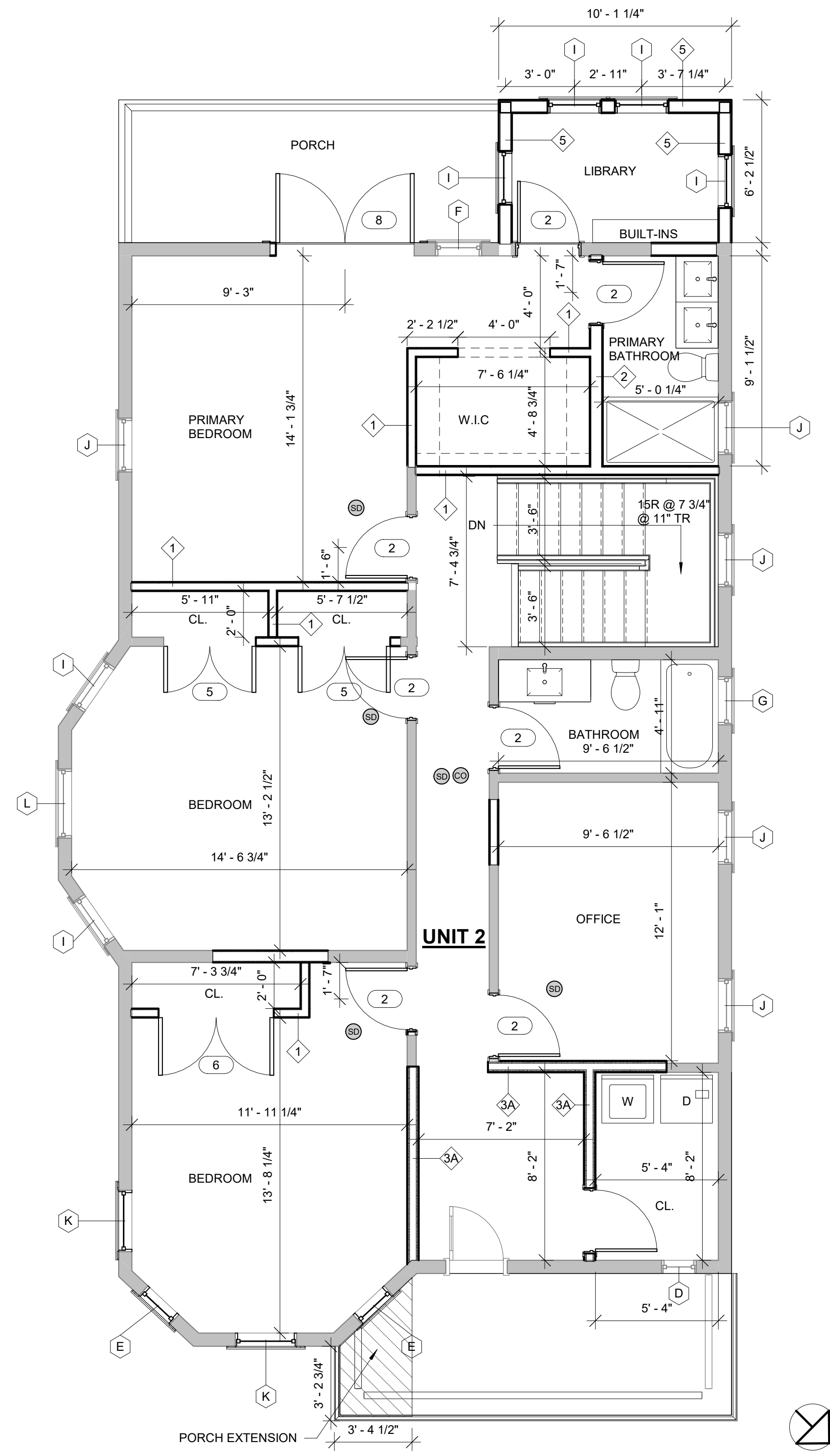
SECOND & THIRD FLOOR PLANS

A-101

8 HOLLY AVE. RESIDENCES



1 2ND FLOOR 1/4" = 1'-0"



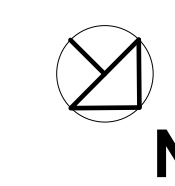
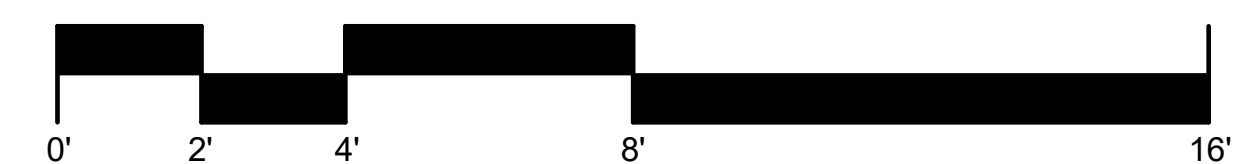
2 3RD FLOOR 1/4" = 1'-0"

LEGEND

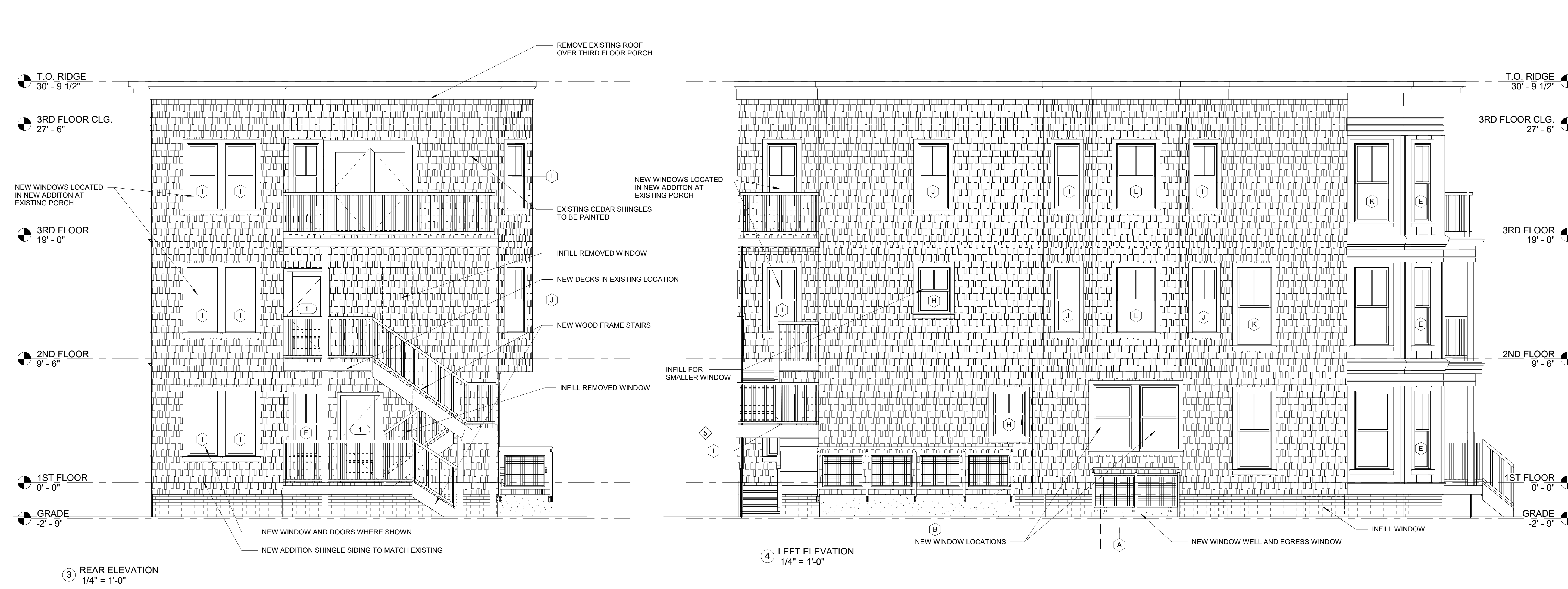
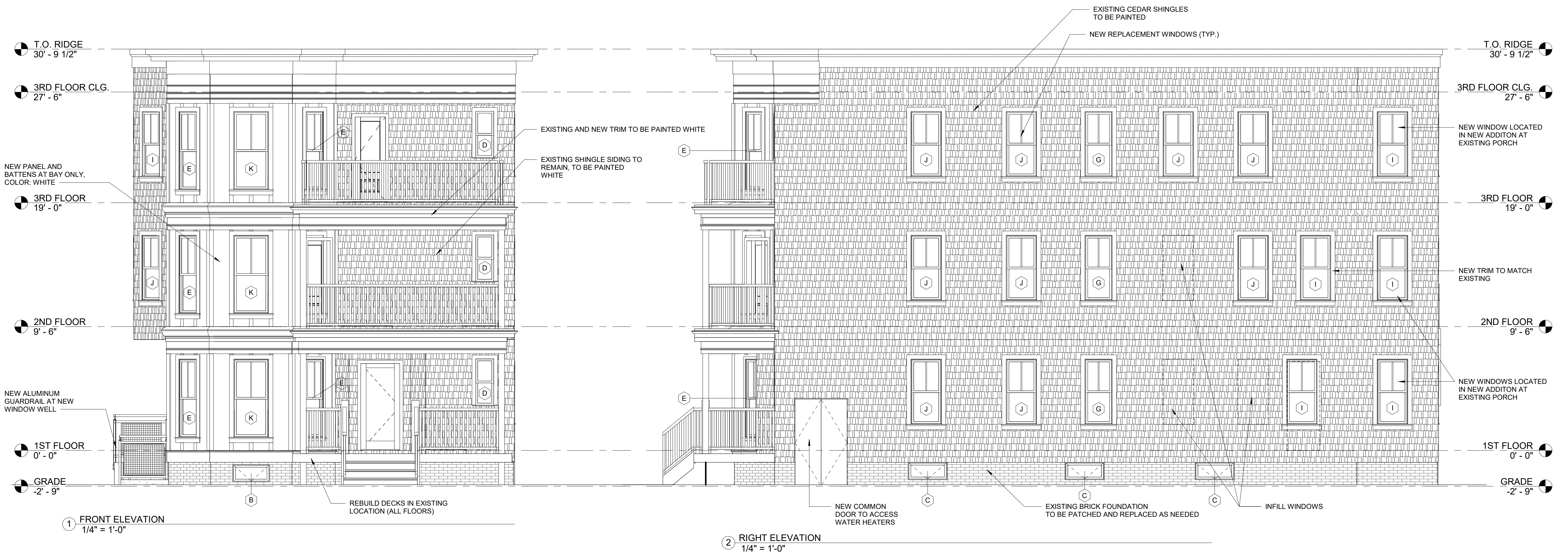
- NEW WALL (dashed line)
EXISTING WALL TO REMAIN (solid line)
WALL TYPE (line with diamond)
EXHAUST VENT (circle with 'E')
FLOOR DRAIN (square with 'FD')
SMOKE DETECTOR (circle with 'SD')
CO DETECTOR (circle with 'CD')

GENERAL FLOOR PLAN NOTES

- 1. FINAL KITCHEN LAYOUT TO BE DETERMINED BY OWNER.
2. ALL INTERIOR FINISHES TO BE DETERMINED BY OWNER.
3. UNLESS OTHERWISE NOTED ALL NEW EXTERIOR WALLS ARE TYPE "5"
4. UNLESS OTHERWISE NOTED ALL EXISTING EXTERIOR WALLS ARE TYPE "6"
5. UNLESS OTHERWISE NOTED ALL INTERIOR WALL SHALL BE TYPE "1"
6. SEE A-910 FOR PARTITION TYPES.
7. MOISTURE RESISTANT GWB. BOARD TO BE USED IN ALL BATHROOMS AND KITCHENS
8. SEE A-900 FOR DOOR & WINDOW DETAILS
9. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE GWB
10. ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF PLYWOOD SHEATHING, TYP., U.N.O.
11. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES
12. ELECTRICAL OUTLETS ON OPPOSITE SIDE OF WALL SHOULD BE INSTALLED AT LEAST 2'-0" FROM EACH OTHER.
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14. CONTRACTOR TO COORDINATE DESIGN BUILD DRAWINGS OF MECHANICAL, ELECTRICAL, PLUMBING, & FIRE PROTECTION PRIOR TO CONSTRUCTION.
15. REFER TO SHEETS A-520 AND A-630 FOR ROOF DETAILS.
16. CENTER CLOSET DOORS UNLESS OTHERWISE NOTED. DOOR TO BE 6" FROM WALL ON HINGE SIDE UNLESS OTHERWISE NOTED
17. ALL EXTERIOR WALLS ARE EXISTING UNLESS NOTED



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PROJECT NAME
8 HOLLY AVE. RESIDENCES

PROJECT ADDRESS
 8 HOLLY AVE. CAMBRIDGE, MA

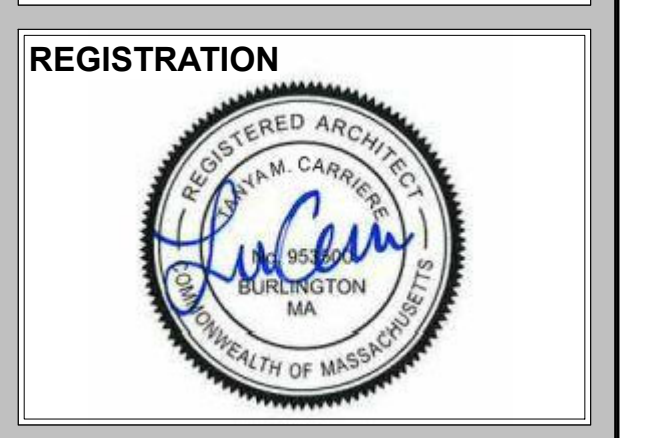
CLIENT
JACK MAHONEY

ARCHITECT

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REGISTRATION

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 Checked by: WC
 Scale: 1/4" = 1'-0"

REVISIONS

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BUILDING ELEVATIONS

A-300

8 HOLLY AVE. RESIDENCES

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PROJECT NAME

**8 HOLLY AVE.
RESIDENCES**

PROJECT ADDRESS

8 HOLLY AVE.
CAMBRIDGE, MA

CLIENT

JACK MAHONEY

ARCHITECT

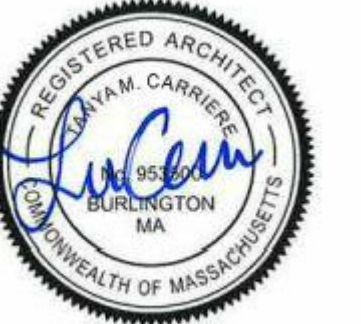


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| Project number | 23045 |
| Date | 11-10-2023 |
| Drawn by | RR |
| Checked by | WC |
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REVISIONS

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PERSPECTIVES

A-301

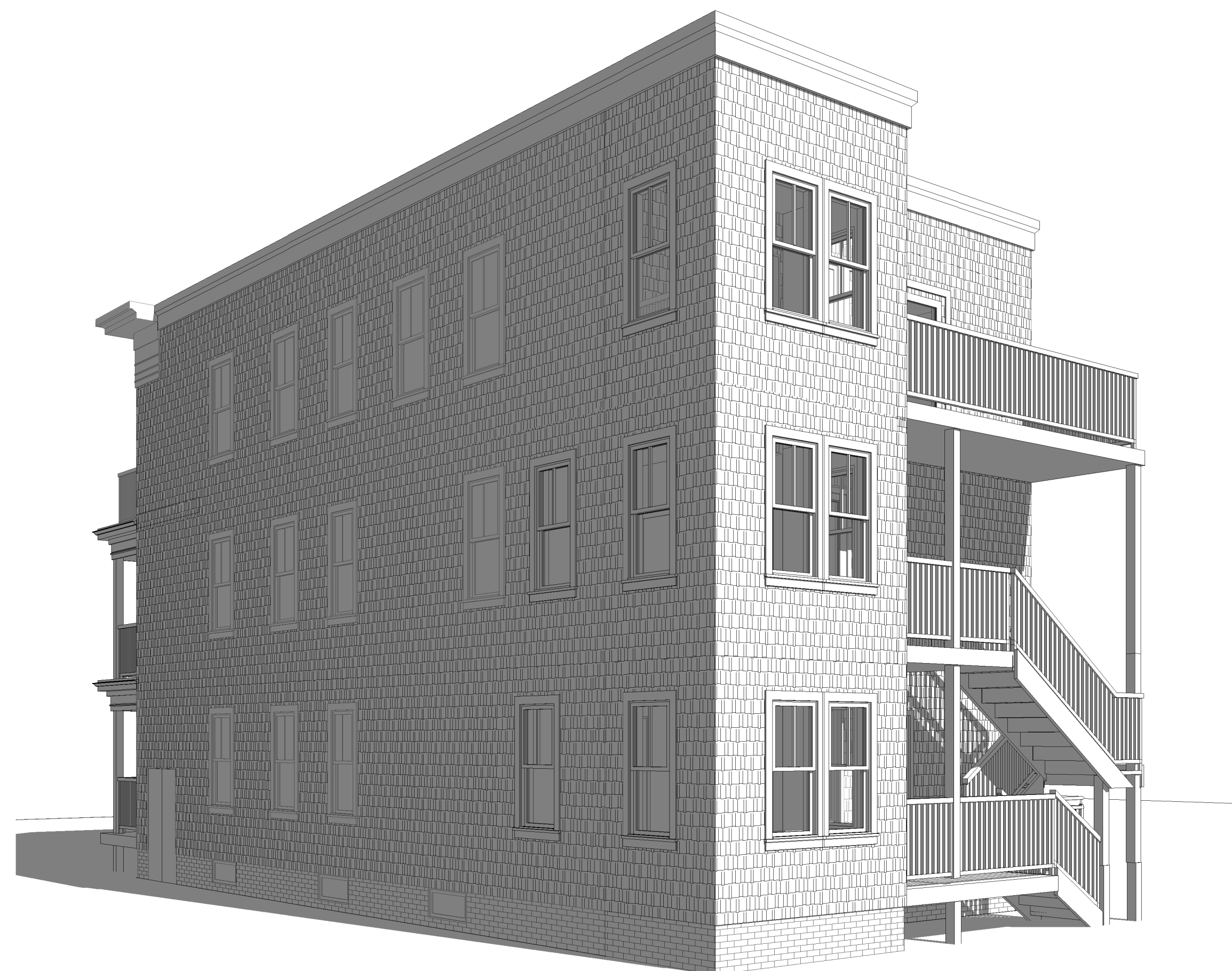
8 HOLLY AVE. RESIDENCES



② Holly Street View 2



① Holly Street View



④ Rear Yard View 2



③ Rear Yard View

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PROJECT NAME

**8 HOLLY AVE.
RESIDENCES**

PROJECT ADDRESS

8 HOLLY AVE.
CAMBRIDGE, MA

CLIENT

JACK MAHONEY

ARCHITECT



KHALSA

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SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682

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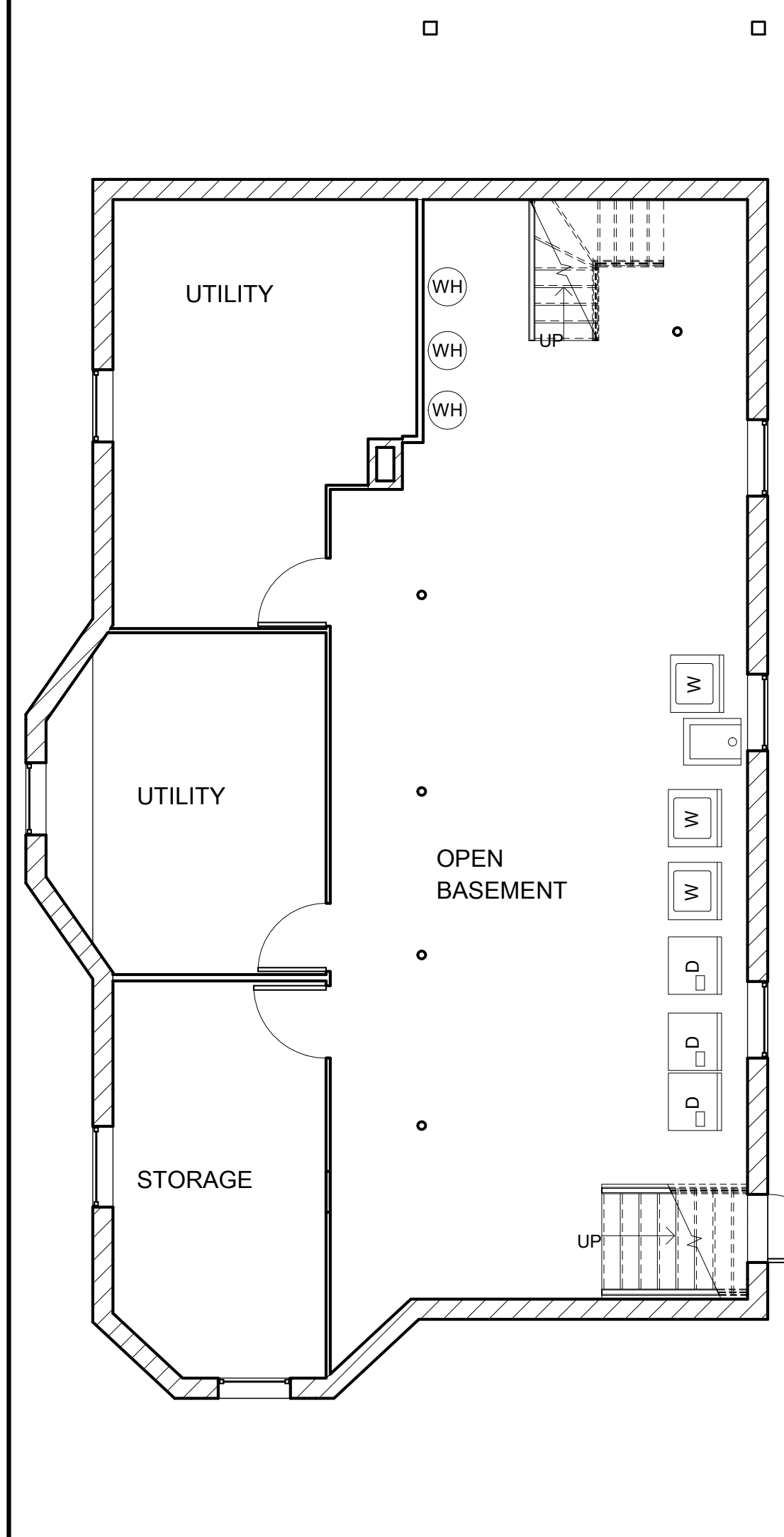
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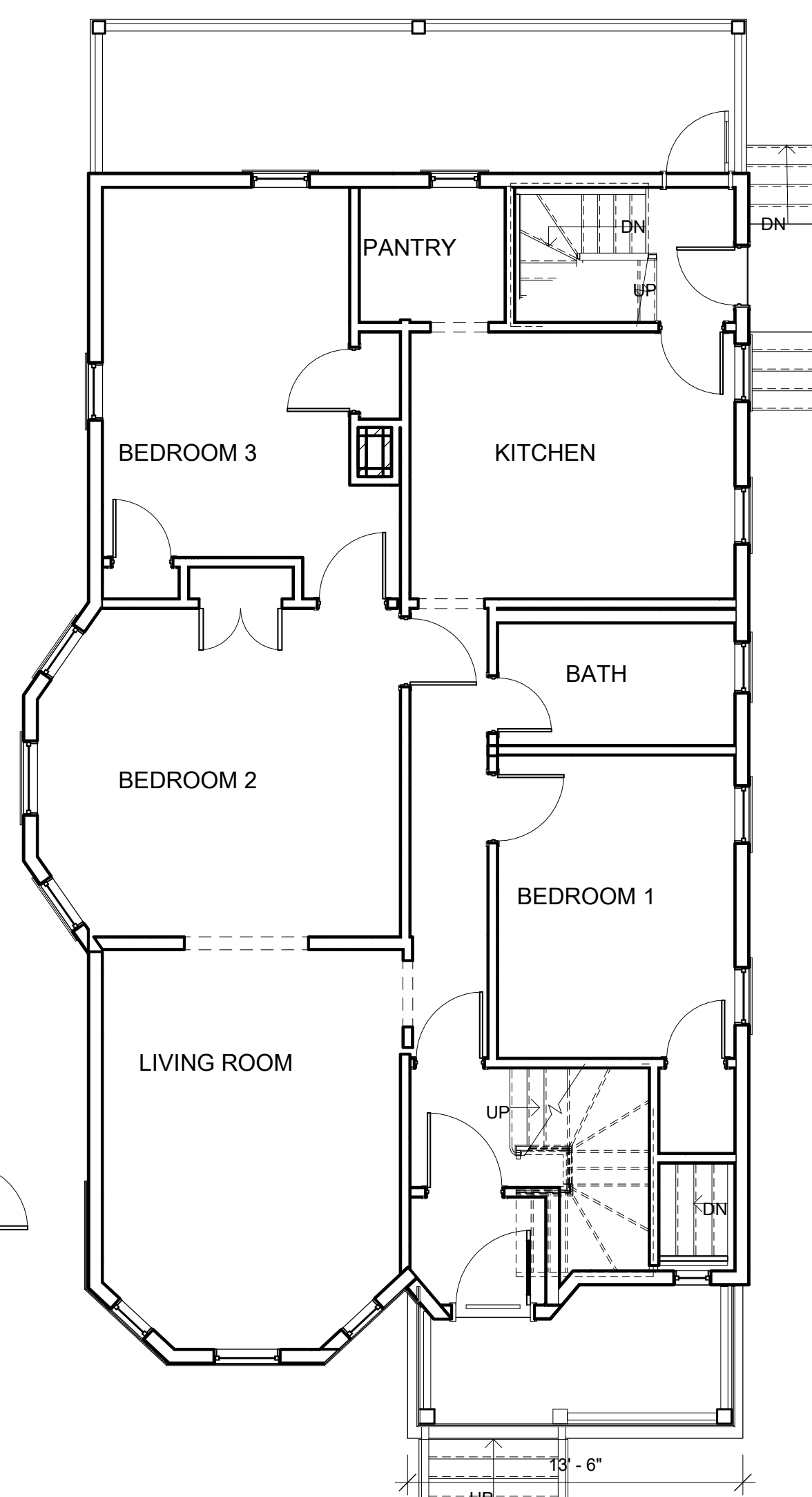
EXISTING PLANS

EX-100

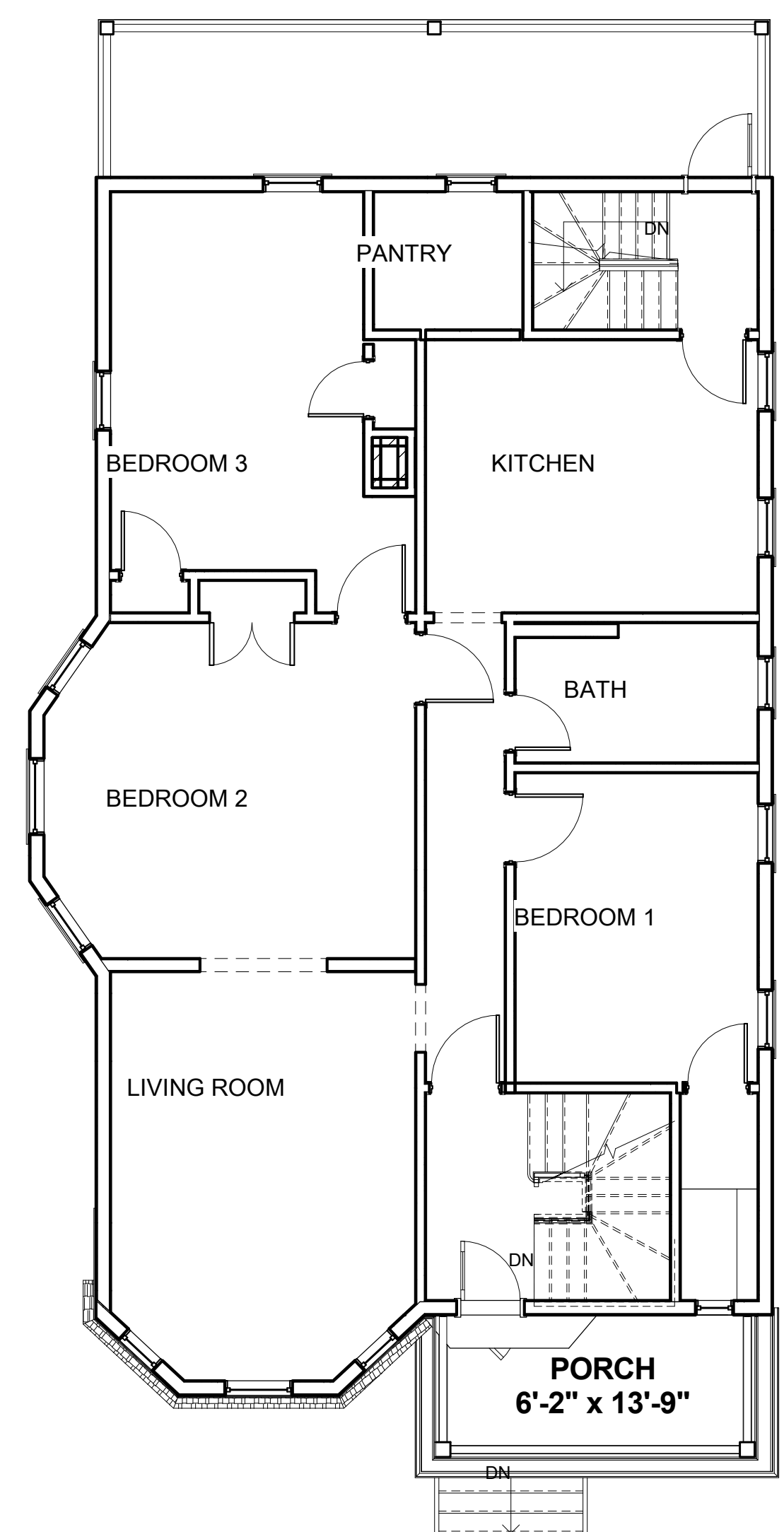
8 HOLLY AVE. RESIDENCES



① EXISTING - BASEMENT
3/16" = 1'-0"



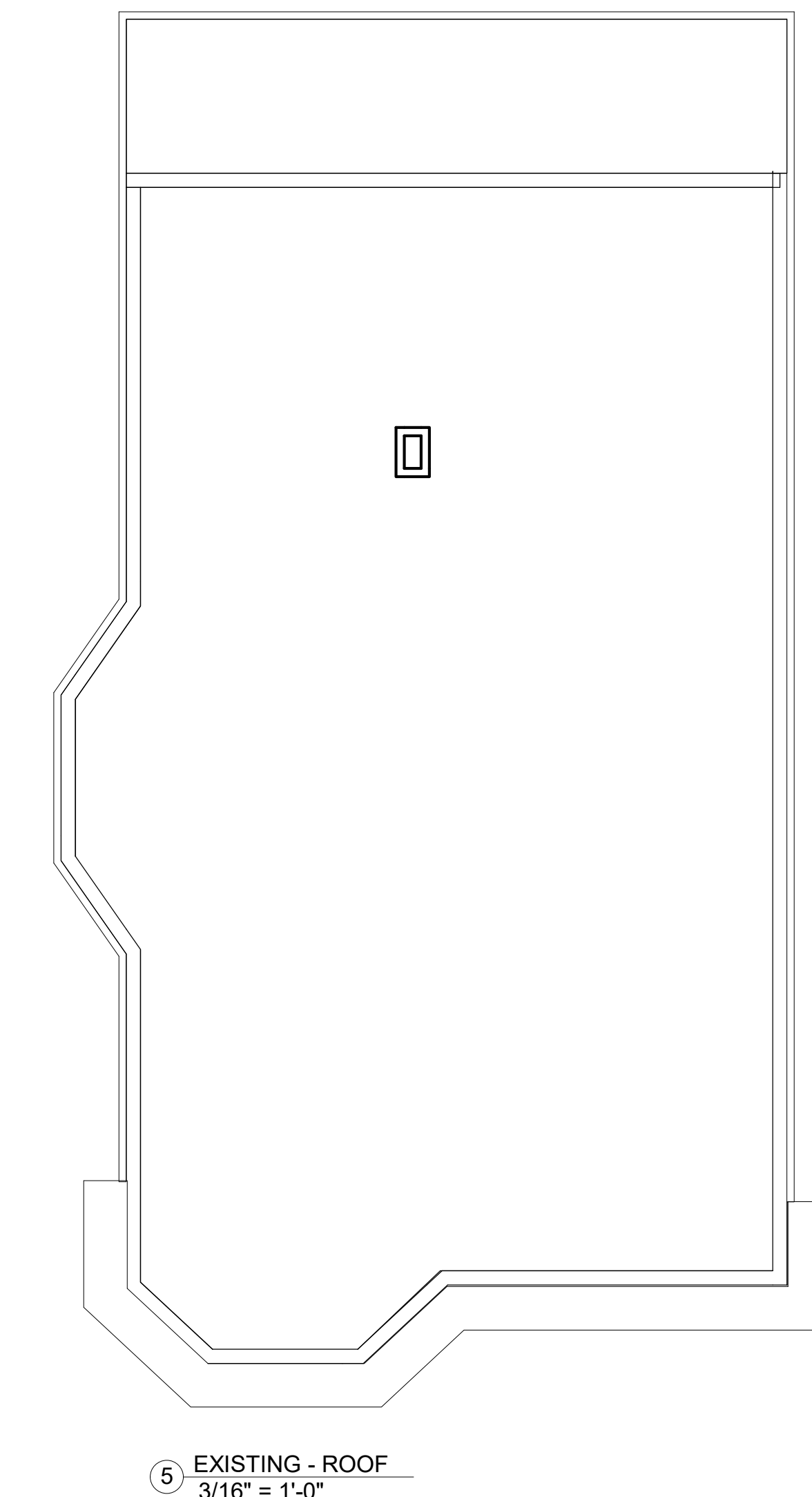
② EXISTING - 1ST FLOOR
3/16" = 1'-0"



③ EXISTING - 2ND FLOOR
3/16" = 1'-0"



④ EXISTING - 3RD FLOOR
3/16" = 1'-0"



⑤ EXISTING - ROOF
3/16" = 1'-0"

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PROJECT NAME

**8 HOLLY AVE.
RESIDENCES**

PROJECT ADDRESS

**8 HOLLY AVE.
CAMBRIDGE, MA**

CLIENT

JACK MAHONEY

ARCHITECT



KHALSA

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682

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Project number 23045
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Scale 3/16" = 1'-0"

REVISIONS

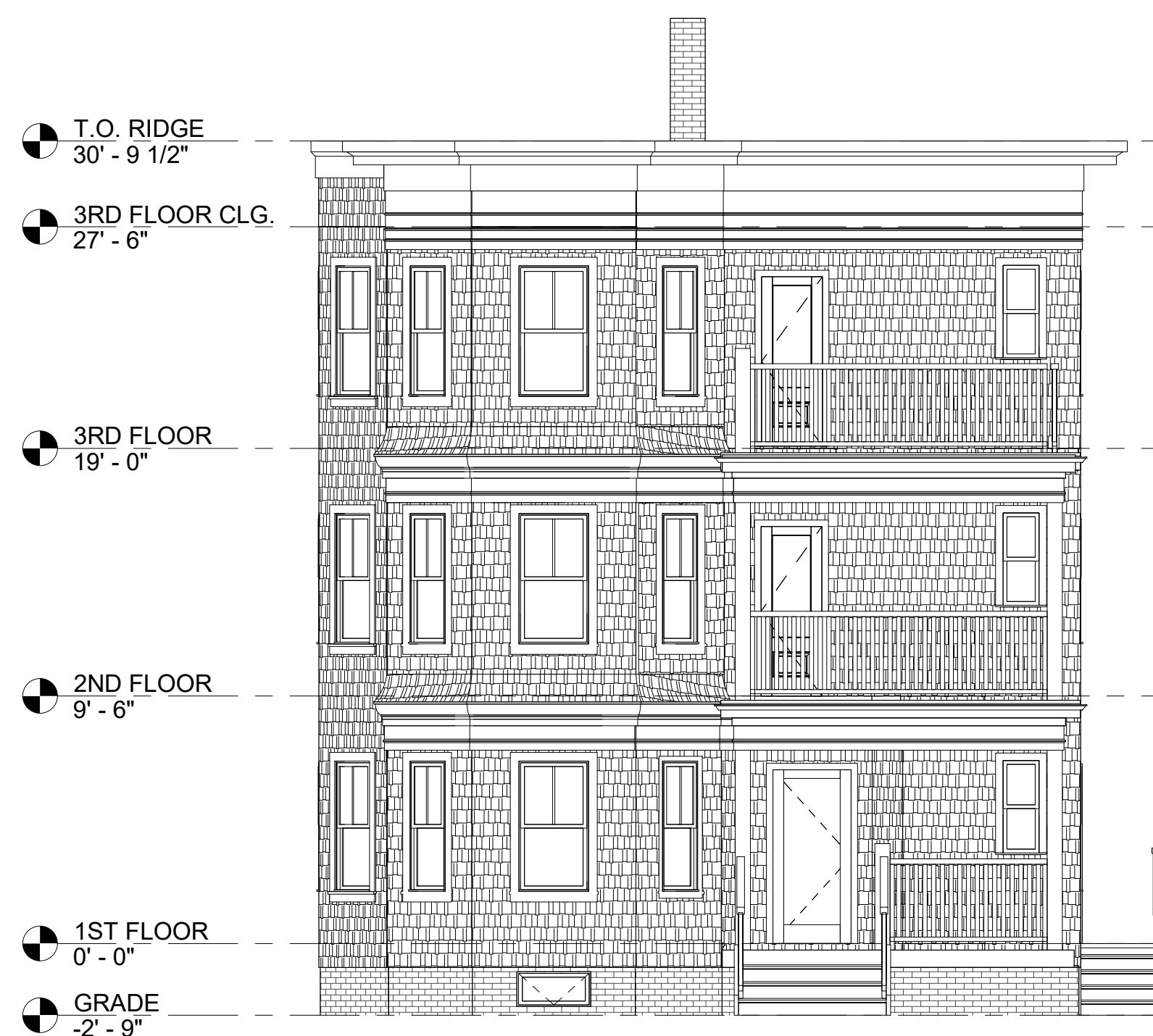
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**EXISTING
ELEVATIONS**

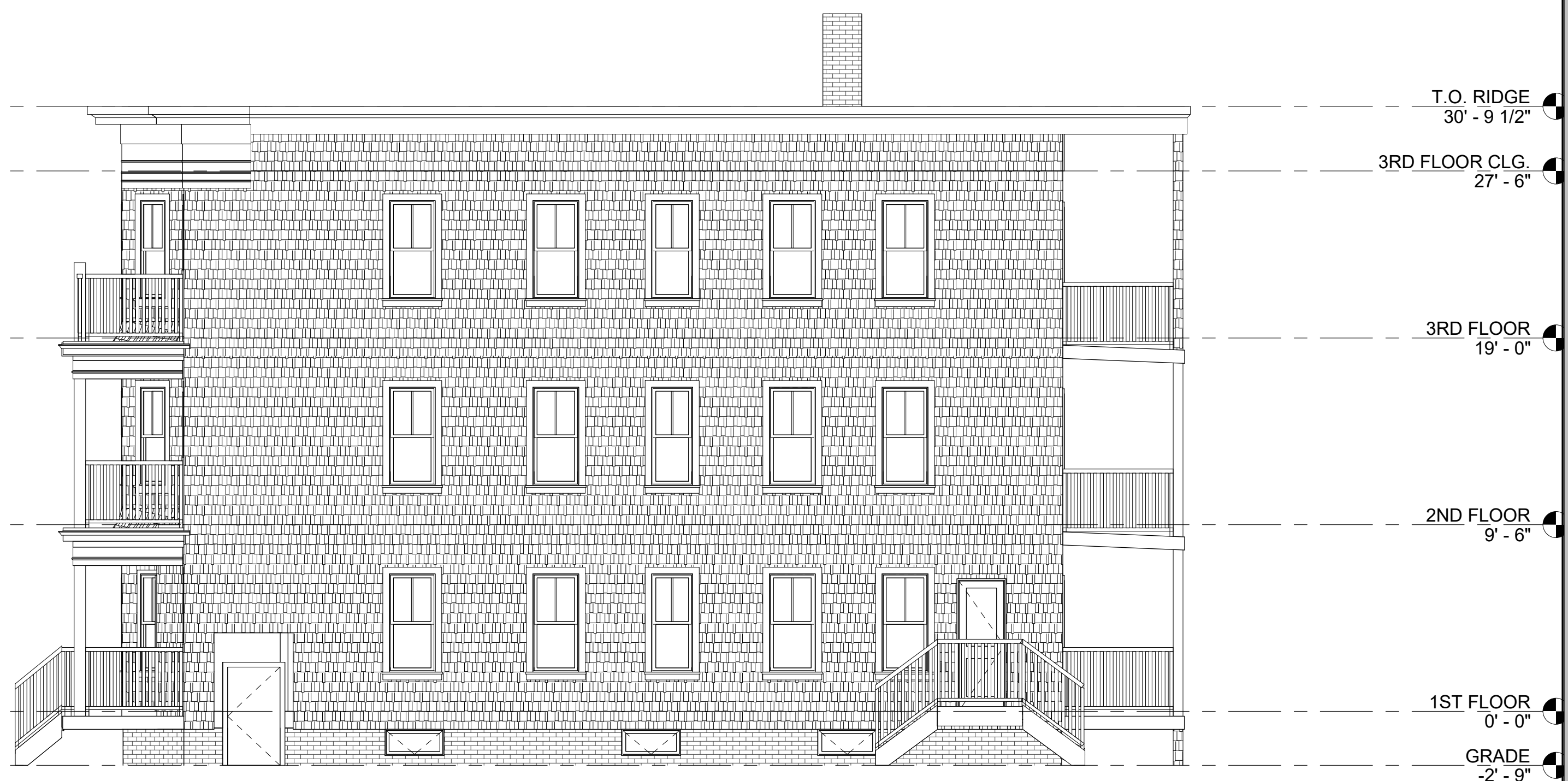
EX-101

8 HOLLY AVE. RESIDENCES

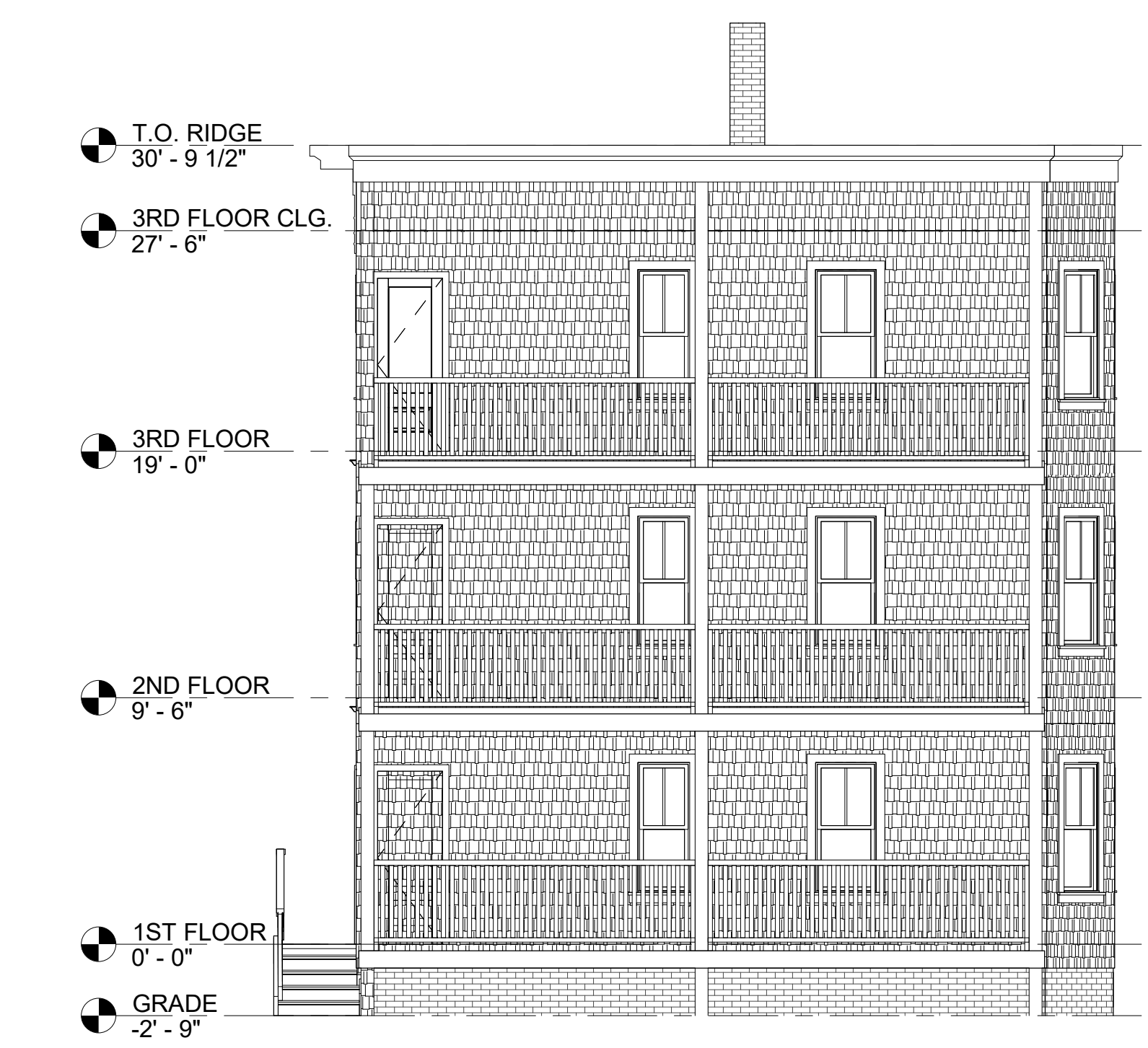
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① EXISTING - FRONT ELEVATION
3/16" = 1'-0"



② EXISTING - RIGHT ELEVATION
3/16" = 1'-0"

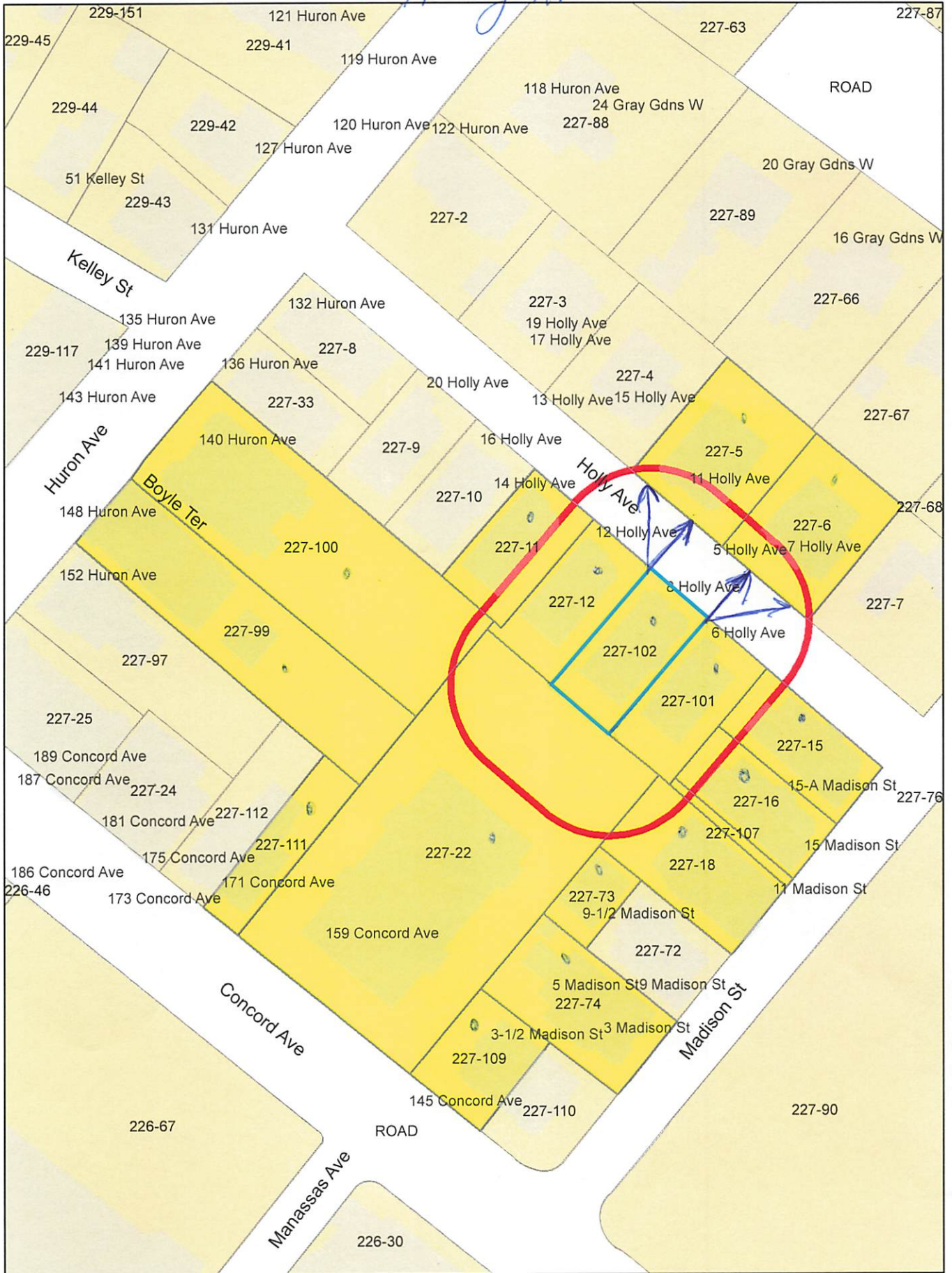


③ EXISTING - REAR ELEVATION
3/16" = 1'-0"



④ EXISTING - LEFT ELEVATION
3/16" = 1'-0"

8 Holly Ave



8 Holly Ave

Petitioner

227-12
HOEKSTRA, DANIELLE E. & JAMES MALLET
12 HOLLY AVE
CAMBRIDGE, MA 02138

227-15
POTUS, JACQUELINE E.
15A MADISON ST UNIT 3
CAMBRIDGE, MA 02138

JAMES J. RAFFERTY, ESQ.
907 MASS AVENUE - 3RD FL
CAMBRIDGE, MA 02139

227-22
TENENBAUM, JANE
159 CONCORD AVE UNIT 3A
CAMBRIDGE, MA 02138

227-15
ROSEN, BRUCE R.
15A MADISON ST
CAMBRIDGE, MA 02138

227-16
WOODRUM, ANNE
15 MADISON ST UNIT 3
CAMBRIDGE, MA 02138

227-18
SPERRY, LAURENCE B.,
TR. THE ROSE O'BRIEN SPERRY 2017 IRREV TR
11 MADISON ST
CAMBRIDGE, MA 02138

227-22
BARBARICS, EVA
159 CONCORD AVE UNIT 2D
CAMBRIDGE, MA 02139

227-22
WHITNEY, RUTH ANN
159 CONCORD AVE #3D
CAMBRIDGE, MA 02138-2325

227-22
DRESKIN, JANE E.
159 CONCORD AVE. #4C
CAMBRIDGE, MA 02138

227-5
11 HOLLY AVENUE LIMITED PARTNERSHIP
C/O TISH HANLON
P.O. BOX 283
JACKSON, NH 03846

227-22
DHAKA, SHANTANU & SARITA RANI
159 CONCORD AVE 2B
CAMBRIDGE, MA 02138

227-22
159 CONCORD LLC
P.O. BOX 661382
ARCADIA, CA 91006

227-111
ADEMI, AGRON & JENNIFER ADEMI
171 CONCORD AVE
CAMBRIDGE, MA 02138

227-22
SIMMS, PEGGY, J.
159 CONCORD AVE, #4B
CAMBRIDGE, MA 02138

227-73
CHIPPENDALE, CHRISTOPHER C. &
ELISABETH M. MITCHELL
9 1/2 MADISON ST
CAMBRIDGE, MA 02138

227-6
BERNHARD, JERRY M. & STEVEN M. SLATER
TRUSTEE OF THE JERRY M. BERNHARD
5-7 HOLLY AVE
CAMBRIDGE, MA 02138-2302

227-15
BOUCHARD, JENNIFER K.,
TR. THE JENNIFER K. BOUCHARD 2009 TRUST
15A MADISON ST UNIT 2
CAMBRIDGE, MA 02138

227-22
DIBBLE, TIMOTHY L. & MAUREEN T. DIBBLE
42 NASHOBA RD.
CONCORD, MA 01742

227-22
MAZZARELLI, MARC F. & HIROKO M. TAKESHITA
159 CONCORD AVE. UNIT#3B
CAMBRIDGE, MA 02138

227-74
BAALBAKI, ZENOBIA,
TRUSTEE THE 5 MADISON ST REALTY TRUST
5 MADISON ST
CAMBRIDGE, MA 02138

227-99
STUART, EDWARD M. & GARY P. CORMIER
146 HURON AVE
CAMBRIDGE, MA 02138

227-101
BAOINE, LAURENCE & JOYCE DEVLIN
6 HOLLY AVE
CAMBRIDGE, MA 02138

227-100
BELL, DWIGHT
138-140 HURON AVE UNIT 2
CAMBRIDGE, MA 02138

227-100
LOMAKIN, JOSEPH
138-140 HURON AVE. UNIT#8
CAMBRIDGE, MA 02138

227-100
WONG, MATTHEW
501 OCTAVIA STREET, APT. #6
SAN FRANCISCO, CA 94102

227-100
FARBER, KAREN L. & FREDRIC L. FARBER
138-140 HURON AVE UNIT 7
CAMBRIDGE, MA 02138

227-100
RODES, THOMAS O. & SACHIKO T. TODES
138-140 HURON AVE UNIT 4
CAMBRIDGE, MA 02138

227-100
PENG, YIRONG
138-140 HURON AVE., #11
CAMBRIDGE, MA 02138

227-22
JAMES, SPIROS DEBBIE BANG JAMES
159 CONCORD AVE UNIT 1A
CAMBRIDGE, MA 02138

8 Holly Ave

227-109
JORDAN, NOELLE T.N.
147 CONCORD AVE
CAMBRIDGE, MA 02138

227-16
DOYLE ELIZABETH FISCHER GREGORY
15 MADISON ST
CAMBRIDGE, MA 02138

227-16
MADISON STREET 2 LLC
13 PERRY ST
CAMBRIDGE, MA 02139

227-11
BJORNLUND, KYLE E.
KATE ELLENA CETRULO BJORNLUND
14 HOLLY AVE
CAMBRIDGE, MA 02138

227-22
MORRISON AMANDA L &
CHRISTOPHER S Y CHIN
159 CONCORD AVE - UNIT 4A
CAMBRIDGE, MA 02139

227-100
LIN HUNGWEN ZHOU FU
138-140 HURON AVE - UNIT 10
CAMBRIDGE, MA 02138

227-100
PANDOLFI MARIO
138-140 HURON AVE - UNIT 9
CAMBRIDGE, MA 02138

227-22
MANSUKHANI, RASHMI & PRADEEP MANSUKHANI
MANSUKHANI, DIVYA PRADEEP ET AL
28 KIDDER AVE
SOMERVILLE, MA 02144

227-22
UMANZIO, CLARIE-FRANCES
159 CONCORD AVE - UNIT 2C
CAMBRIDGE, MA 02139

227-100
ZHANG SHUYAN SHE ALAN JENTING
5 LORONG HOW SUN #13-28
SINGAPORE, 536562

227-100
PERKINS PAUL C JR
TRS THE PAUL C PERKINS JR TR
651 LAKE CATHERINE DR
MAITLAND, FL 32751

227-22
MCGINN NOEL F
TRS MARY LOU MCGINN FAMILY TR
159 CONCORD AVE APT 2A
CAMBRIDGE, MA 02138

227-22
STERN, ELLEN D
TRS ELLEN D STERN FAMILY TR
159 CONCORD AVE - UNIT 4D
CAMBRIDGE, MA 02138

227-100
RODRIGUEZ, PEDRO JR & MARLENE J TRIOLO
TRIOLO-RODRIGUEZ, RHYS A
138-140 HURON AVE - UNIT 1
CAMBRIDGE, MA 02138

227-100
CURRIER, KATHERINE M
138 HURON AVE - UNIT 3
CAMBRIDGE, MA 02138

227-102
8 HOLLY AVE LLC
96 SUFFOLK RD
NEWTON, MA 02467

227-22
MACEVITT, MARJORIE E.
159 CONCORD AVE UNIT 1B
CAMBRIDGE, MA 02138







City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Sarah Fitzgerald Date: 1/19/24
(Print)

Address: 8 Holly Ave

Case No. BZA-249521

Hearing Date: 2/8/24

Thank you,
Bza Members











